

SITE MAP



PROJECT INFORMATION

CLIENT AGENCY:	NEW YORK PUBLIC LIBRARY
PROJECT NAME:	SUGAR HILL LIBRARY
ADDRESS:	W 155 ST & EDGECOMB AVE, NY 10032
BLOCK:	2107
LOT:	1
# OF BUILDINGS:	0
YEAR BUILT:	N/A
ZONING RESOLUTION GROUP:	ZONING RESOLUTION GROUP:
MAX HEIGHT:	36'
AREA RATIO MAP:	AREA RATIO MAP:

MODEL ON SITE



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		AA001	AUDIOVISUAL/ACOUSTICS

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DOB STAMPS AND SIGNATURES

DOB BSCAN STICKER



OWNER:
NEW YORK PUBLIC LIBRARY
476 5TH AVENUE
NEW YORK, NY 10018

PROJECT:
LUMINARIES LAWN LIBRARY
W 155TH ST & EDGECOMBE AVE
NEW YORK, NY 10032

DRAWING TITLE:
TITLE SHEET

SEAL:	DATE:
	SCALE: NA
	DRAWN: AB
	CHECKED:
	DRAWING:
	T001.00
	SHEET: OF XYZ

NOTES				PROJECT INFORMATION	
<div>GENERAL NOTES:</div> <div><div><div><div>1. PROPOSED WORK DOES NOT REQUIRE A CHANGE IN USE OR OCCUPANCY FOR THE BUILDING.</div><div>2. ALL DESIGNS AND CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE NYC DEPARTMENT OF BUILDINGS, STATE AND FEDERAL GOVERNMENT AGENCIES HAVING JURISDICTION AND OF THE ADMINISTRATIVE CODE OF THE CITY OF NEW YORK.</div><div>3. CONTRACTOR TO FOLLOW BUILDING'S CONSTRUCTION RULES AND REGULATIONS.</div><div>4. ALL NOISE MAKING WORK TO OCCUR DURING WORKING HOURS AS STIPULATED BY THE BUILDING CODE OF NEW YORK CITY.</div><div>5. ALL AFTER HOURS WORK MUST BE COORDINATED WITH BUILDING MANAGEMENT. SUCH WORK MAY REQUIRE THE PRESENCE OF A BUILDING ENGINEER. SUCH BUILDING ENGINEERS TIME SHALL BE CHARGED TO THE CONTRACTOR/TENANT AT THE BUILDING STANDARD OVERTIME.</div><div>6. A LIST OF GENERAL CONTRACTOR'S PERSONNEL AND SUBCONTRACTOR'S MAIN CONTACT WITH EMERGENCY PHONE NUMBERS MUST BE SUBMITTED TO THE COMMISSIONER PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OPERATIONS.</div><div>7. A LIST OF GENERAL CONTRACTOR'S PERSONNEL AND SUBCONTRACTOR'S MAIN CONTACT WITH EMERGENCY PHONE NUMBERS IS REQUIRED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OPERATIONS.</div><div>8. CERTIFICATE OF INSURANCE FOR THE GENERAL CONTRACTOR AND ALL THEIR SUBCONTRACTORS AND VENDORS ARE REQUIRED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OPERATIONS.</div><div>9. ACCESS TO THE MAIN, TELEPHONE, ELECTRICAL, HVAC CLOSETS/ROOMS MUST BE COORDINATED WITH THE BUILDING MANAGEMENT.</div><div>10. CONTRACTOR(S) TO TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND WORKMEN ON SITE TO PREVENT ACCIDENTS OR INJURY IN COMPLIANCE WITH OSHA AND NYC BUILDING CODE.</div><div>11. SEAL ALL EXISTING AND NEW PENETRATIONS IN HORIZONTAL AND VERTICAL FIRE ASSEMBLIES AS PER NYC BUILDING CODE AND WITH APPROVED PENETRATION AND JOINT SYSTEMS/MATERIALS.</div><div>12. REPORT ANY DAMAGED EXISTING DAMAGED FIRE RATED WALL AND SLAB SYSTEMS TO BUILDING ENGINEER AND RESTORE SUCH DAMAGE WITH MATCHING OR COMPATIBLE ASSEMBLIES TO MAINTAIN FIRE RESISTANCE RATING AS APPROVED BY THE BUILDING MANAGEMENT.</div><div>13. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO CONSTRUCTION AND SHALL REPORT ANY ERRORS, DISCREPANCIES, OR OMISSIONS TO THE COMMISSIONER PRIOR TO PROCEEDING WITH THE WORK.</div><div>14. REFER TO STRUCTURAL DRAWINGS (PART OF THE CONSTRUCTION DOCUMENTS) FOR STRUCTURAL WORK.</div><div>15. REFER TO MEP, FA & SP DRAWINGS (PART OF THE CONSTRUCTION DOCUMENTS) FOR MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK. REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE DEUCE AND EQUIPMENT COLORS AND LOCATIONS.</div><div>16. REFER TO THE 8.5"x11" SPECIFICATIONS BOOKLET (PART OF THE CONSTRUCTION DOCUMENTS) FOR SPECIFICATIONS.</div><div>17. IF ANY NOTES OR REQUIREMENTS ON THIS SHEET CONFLICT WITH THE REQUIREMENTS DESCRIBED IN THE 'GENERAL CONDITIONS' & 'ADDENDUM TO THE GENERAL CONDITIONS' IN THE SPECIFICATIONS BOOK, THE NOTES & REQUIREMENTS LISTED IN THE SPECIFICATIONS BOOK GOVERN.</div><div>18. A SITE WALK-THROUGH WITH CONTRACTOR AND COMMISSIONER IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION WORK.</div><div>19. CONSTRUCTION STAGING AREA LOCATION IN THE BUILDING TO BE COORDINATED WITH & APPROVED BY THE COMMISSIONER.</div><div>20. WHERE MANUFACTURER OR PRODUCT IS LISTED ON DRAWINGS INFORMATION IS TO BE CONSIDERED 'BASE OF DESIGN'. FOR ADDITIONAL AND/OR EQUAL MANUFACTURERS/PRODUCTS SEE SPECIFICATIONS.</div><div>21. THE BUILDING WILL BE VACATED AND NOT BE OCCUPIED BY OWNER OR THE PUBLIC DURING CONSTRUCTION.</div><div>22. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE, FIRE DEPARTMENT RULES AND REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.</div><div>23. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK CITY AGENCIES.</div><div>24. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.</div><div>25. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.</div><div>26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.</div><div>27. THE CONTRACTOR SHALL LAYOUT THEIR OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICAL, ETC.</div><div>28. PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE DEPARTMENT OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.</div><div>29. ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU OF ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.</div><div>30. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.</div><div>31. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.</div></div></div><div>28-104.8.4 TENANT PROTECTION PLAN:</div><div>CONSTRUCTION DOCUMENTS FOR ALTERATIONS OF BUILDINGS IN WHICH ANY DWELLING UNIT WILL BE OCCUPIED DURING CONSTRUCTION SHALL INCLUDE A TENANT PROTECTION PLAN. SUCH PLAN SHALL CONTAIN A STATEMENT THAT THE BUILDING CONTAINS DWELLING UNITS THAT WILL BE OCCUPIED DURING CONSTRUCTION AND SHALL INDICATE IN SUFFICIENT DETAIL THE SPECIFIC UNITS THAT ARE OR MAY BE OCCUPIED DURING CONSTRUCTION, THE MEANS AND METHODS TO BE EMPLOYED TO SAFEGUARD THE SAFETY AND HEALTH OF THE OCCUPANTS, INCLUDING, WHERE APPLICABLE, DETAILS SUCH AS TEMPORARY FIRE-RATED ASSEMBLIES, OPENING PROTECTIVES, OR DUST CONTAINMENT PROCEDURES. THE ELEMENTS OF THE TENANT PROTECTION PLAN MAY VARY DEPENDING ON THE NATURE AND SCOPE OF THE WORK BUT AT A MINIMUM SHALL MAKE DETAILS AND SPECIFIC PROVISIONS FOR:</div><div><div><div><div>1. EGRESS. AT ALL TIMES IN THE COURSE OF CONSTRUCTION, PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE, AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.</div><div>2. FIRE SAFETY. ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.</div><div>3. HEALTH REQUIREMENTS. SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL, AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.</div><div>3.1. THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.</div><div>4. COMPLIANCE WITH HOUSING STANDARDS. THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.</div><div>5. STRUCTURAL SAFETY. NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.</div><div>6. NOISE RESTRICTIONS. WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.</div></div></div></div><div>SAFETY NOTES:</div><div><div><div><div>1. WORK SHALL BE CONFINED TO THE PROJECT SITE, AND WILL NOT CREATE DUST, DIRT, OR OTHER INCONVENIENCES TO ADJACENT PROPERTIES.</div><div>2. CONSTRUCTION WORK SHALL NOT BLOCK HALLWAYS, STAIRS, OR OTHER MEANS OF EGRESS OF THE BUILDING. CONTRACTOR SHALL REVIEW AND OBTAIN BUILDING MANAGEMENT APPROVAL FOR THE LOCATION AND ASSEMBLY TYPE AND FINISH OF ANY TEMPORARY PARTITIONS IN PUBLIC AREAS OF THE BUILDING.</div><div>3. CONSTRUCTION OPERATIONS SHALL BE CONFINED TO NORMAL WORKING HOURS; AS ALLOWED BY BUILDING MANAGEMENT MONDAY TO FRIDAY, EXCEPT LEGAL HOLIDAYS. EXCEPTION: LOUD WORK OR OTHER WORK THAT MAY DISTURB ADJACENT TENANTS MUST BE COMPLETED AFTER HOURS AND COORDINATED WITH BUILDING MANAGEMENT.</div><div>4. THE SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.</div><div>5. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE CITY OF NEW YORK AND ALL OTHER AUTHORITIES HAVING JURISDICTION.</div><div>6. CONTRACTOR TO COORDINATE CONSTRUCTION SEQUENCE AND WORK SCHEDULE WITH BUILDING MANAGEMENT TO MINIMIZE DISRUPTION OF ONGOING BUILDING FUNCTIONS.</div><div>7. ENSURE ALL EGRESS WAYS TO REMAIN OPEN AND UNOBSTRUCTED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.</div><div>8. CONTRACTOR TO PROVIDE ADEQUATE SEPARATION/PARTITIONING BETWEEN AREA OF WORK & ADJACENT AREAS TO PREVENT ACCESS TO THE WORK AREA BY NON-AUTHORIZED PERSONNEL.</div></div></div><div>DEMOLITION NOTES:</div><div><div><div><div>1. REMOVAL TO BE CONFINED TO AREAS SHOWN ON PLAN AND CORRESPONDING NOTES.</div><div>2. TEMPORARY PARTITIONING, SUCH AS PLASTIC SHEETING, PLYWOOD ENCLOSURES OR OTHER ASSEMBLIES SHALL BE USED TO CONTROL THE SPREAD OF DUST AND CONSTRUCTION DEBRIS.</div><div>3. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS REQUIRED FOR THE WORK.</div><div>4. MAINTAIN ALL EGRESS WAYS TO REMAIN OPEN AND UNOBSTRUCTED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.</div><div>5. PROTECT ALL EXIST. EQUIPMENT, UTILITIES, LINES, FIXTURES AND FINISHES TO REMAIN.</div><div>6. REPORT ANY DISCREPANCIES FROM CONTRACT DOCUMENTS TO COMMISSIONER AND REQUEST ALL SCOPE CLARIFICATIONS FROM COMMISSIONER. FIELD DISCREPANCIES TO BE RESOLVED WITH COMMISSIONER PRIOR TO START OF WORK.</div><div>7. UTILIZATION CONTRACTOR TO REVIEW FULL CONSTRUCTION SET AND TO HAVE A FULL UNDERSTANDING OF SCOPE OF CONSTRUCTION WORK PRIOR TO START OF DEMO WORK. REPORT ANY DISCREPANCIES FROM CONTRACT DOCUMENTS TO COMMISSIONER AND REQUEST ALL SCOPE CLARIFICATIONS FROM COMMISSIONER. FIELD DISCREPANCIES TO BE RESOLVED WITH COMMISSIONER PRIOR TO START OF WORK.</div><div>8. CONTRACTOR IS REQUIRED TO HAVE WALK-THROUGH TO TAG ALL ITEMS SLATED FOR DEMOLITION, INSPECT AREA IN WHICH WORK WILL BE PERFORMED. PHOTOGRAPH EXISTING CONDITIONS TO STRUCTURE, SURFACES, EQUIPMENT, OR SURROUNDING PROPERTIES WHICH COULD BE MISCONSTRUED AS DAMAGE RESULTING FROM DEMOLITION WORK. CONTRACTOR TO NOTIFY COMMISSIONER OF ANY QUESTIONABLE ITEMS PRIOR TO COMMENCEMENT OF WORK.</div><div>9. REMOVE ALL OBSOLETE AND/OR ABANDONED SYSTEMS, UNUSED WIRING, HANGERS, PIPES, SUPPORT SYSTEMS THAT WILL NO LONGER BE USED FROM SPACE, INCLUDING FROM FLOORS, WALLS & CEILING, UNO. CUT ANCHORS, HANGERS, ETC. ABOVE CEILING PLANE OR BEHIND WALL PLANE TO FACILITATE PATCHING.</div><div>10. REMOVE ALL FURNISHINGS, EQUIPMENT, MILLWORK, SHELVING AND ALL ASSOCIATED ANCHORS & HARDWARE UNLESS NOTED OTHERWISE.</div><div>11. PERFORM SELECTIVE DEMOLITION WORK IN A SYSTEMATIC MANNER. USE SUCH METHODS AS REQUIRED TO COMPLETE WORK AS INDICATED ON DRAWINGS IN ACCORDANCE WITH DEMOLITION SCHEDULE AND GOVERNING REGULATIONS.</div><div>12. ALL OPENINGS AND VOIDS LEFT BY THE REMOVAL OF EXISTING CONSTRUCTION SHALL BE PROPERLY PATCHED AND CLOSED OFF TO MAINTAIN PROPER FIRE RATINGS. FINISH AS SCHEDULED.</div><div>13. PROTECT ALL SURFACES (WALLS, CEILINGS, SLABS, FLOORS, WINDOWS, DOORS, ETC.) TO REMAIN FROM DUST & DAMAGE. PREP ALL SURFACES AFFECTED BY DEMOLITION WORK FOR PATCH, REPAIR & FINISHING TO MATCH ADJACENT UNAFFECTED SURFACES.</div><div>14. PROTECT EXG. ARCHITECTURAL DETAILS, TRIM, MOLDING TO REMAIN, ETC. FROM DAMAGE, UNO.</div><div>15. CONTRACTOR SHOULD PROVIDE COMPLETE, CONTINUOUS PROTECTION FROM THE ELEMENTS AT ROOF OPENING(S) AND REMOVED EQUIPMENT LOCATIONS THROUGHOUT.</div><div>16. COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, FIRE ALARM DEMO WORK WITH STRUCT/MEP/FP/FA DOCUMENTS.</div><div>17. PER 2014 BC/3306.3.1 THE PERMIT HOLDER SHALL NOTIFY THE DEPARTMENT (DOB) VIA PHONE OR ELECTRONICALLY AT LEAST 24 HOURS, BUT NO MORE THAN 48 HOURS PRIOR TO THE COMMENCEMENT OF SUCH WORK.</div><div>18. PER 2014 BC/3306.3.2 ADJOINING PROPERTY OWNERS SHALL BE NOTIFIED OF UPCOMING DEMO/DEMOLITION OPERATIONS IN WRITING NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE DEMOLITION. THE WRITTEN NOTICE SHALL PROVIDE A DESCRIPTION OF THE WORK TO BE PERFORMED, THE TIMEFRAME AND SCHEDULE, AND CONTACT INFORMATION OF THE PERSON CAUSING THE DEMOLITION AND OF THE DEPARTMENT. DEMOLITION OR REMOVAL WORK THAT IS TO BE DONE WITH THE USE OF EXPLOSIVES SHALL ALSO BE SUBJECT TO THE NOTIFICATION REQUIREMENTS SET FORTH IN THE NEW YORK CITY FIRE CODE.</div></div></div></div><div>STRUCTURAL DEMOLITION NOTES:</div><div><div><div><div>1. NOTIFY STRUCTURAL ENGINEER PRIOR TO THE REMOVAL OR ALTERATION OF ANY STRUCTURAL ELEMENTS IF THERE IS ANY QUESTION ABOUT THE STRUCTURAL ROLE OF ANY COMPONENT TO BE REMOVED, NOTIFY COMMISSIONER PRIOR TO PROCEEDING WITH WORK.</div><div>2. COMPLETELY CLOSE ALL ABANDONED EXISTING FLOOR OPENINGS, ROOF OPENINGS AND WALL PENETRATIONS TO MAINTAIN PROPER FIRE RATINGS. FINISH AS SCHEDULED.</div><div>3. PROVIDE INTERIOR & EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURAL ELEMENTS TO BE REMOVED & ADJACENT ELEMENTS TO REMAIN.</div></div></div><div>MECHANICAL DEMOLITION NOTES:</div><div><div><div><div>1. WHERE EQUIPMENT IS INDICATED TO REMAIN, SEE MEP DWGS. FOR REFURBISHMENT SCOPE.</div><div>2. DO NOT REMOVE OR DAMAGE ANY EXG HVAC EQUIPMENT OR EQUIPMENT NECESSARY FOR UNINTERRUPTED SERVICE.</div><div>3. MECHANICAL WORK. SCOPE OF WORK TO BE COORDINATED WITH MEP DRAWINGS. EXG DUCTWORK, EQUIPMENT, FIXTURES ON SURFACES SCHEDULED TO BE REMOVED AND LINES TO FIXTURES OR EQUIPMENT TO BE REMOVED AND LINES CAPPED AT THE SOURCE AS REQUIRED BY NYC CODE.</div><div>4. REMOVE ABANDONED MECH. HARDWARE, HANGERS, PIPES, CAP UTILITIES TO BE REMOVED AT SOURCE & COORD. W/ MEP DOCS. CUT ANCHORS, HANGERS ETC ABOVE CEILING/WALL PLANE TO FACILITATE PATCHING.</div><div>5. REMOVE ALL ABANDONED DUCTWORK, HANGERS, AND ANCHORS (COORDINATE WITH NEW – SEE MECHANICAL DRAWINGS)</div><div>6. PROTECT EXG HVAC REGISTERS, GRILLES TO REMAIN FROM DUST AND DAMAGE. ALL EXG. DUCTWORK AND PIPING TO REMAIN IS TO BE PREPPED AND CLEANED FOR REUSE. PREP ALL EQUIP./SURFACES (DUGTS, PIPES, DEVICES, ETC.) AFFECTED BY DEMO FOR PATCH, REPAIR & FINISHING TO MATCH ADJACENT UNAFFECTED AREAS.</div></div></div></div><div>ELECTRICAL/TEL DATA/FIRE ALARM DEMOLITION NOTES:</div><div><div><div><div>1. PROTECT ANY ELECTRICAL SWITCHGEAR, RISERS, OR DISTRIBUTION PANELS TO REMAIN FROM DEMOLITION WORK.</div><div>2. ELECTRICAL WORK. SCOPE OF ELECTRICAL WORK TO BE COORDINATED WITH MEP DRAWINGS. EXG. FIXTURES, OUTLETS, JBOXES, CONDUITS ON SURFACES SCHEDULED TO BE REMOVED AND FEEDERS TO REMOVED EQUIPMENT TO BE REMOVED AND LINES CAPPED AT THE SOURCE AS REQUIRED PER NYC CODE.</div><div>3. UNUSED ELECTRICAL CIRCUITS AND ALL ASSOCIATED WIRING MUST BE REMOVED BACK TO LOCAL ELECTRICAL CIRCUIT BREAKER PANEL OR MAIN AND NOT ABANDONED IN WALLS AND CEILINGS.</div></div></div></div><div>ELECTRICAL/TEL DATA/FIRE ALARM DEMOLITION NOTES (CONT.):</div><div><div><div><div>4. REMOVE ALL EXG ABANDONED OUTLETS, DEVICES AND STROBES UNO ALONG W/ ASSOCIATED J-BOXES, CAP WIRING AT SOURCE AND PREP FOR FLR, WALL, CLG, DEVICES, EQUIPMENT, ETC PATCHING TO MATCH UNAFFECTED AREAS.</div><div>5. REMOVE ALL EXG ABANDONED ELECTRICAL CONDUIT AND BX AND CAP AT SOURCE (COORD WITH NEW – SEE ELECTRICAL DWGS). ALL ASSOCIATED CONDUIT, BX, HANGERS ETC TO BE REMOVED AND CLO PREPPED FOR PATCH AND PAINT. CUT ANCHORS, HANGERS ETC ABOVE CEILING/WALL PLANE TO FACILITATE PATCHING.</div><div>6. ALL UNUSED TELEPHONE AND DATA WIRING AND CABLING MUST BE REMOVED BACK TO THE LOCAL TELEPHONE OR DATA CLOSET PANELS AND NOT ABANDONED IN WALLS, FLOORS OR CEILINGS.</div><div>7. PRIOR TO DEMOLITION, SAFE-OFF ALL CIRCUITING AND OTHER FACILITIES UTILITIES TO THE PREMISES. LOCK-OUT TAG-OUT AS REQUIRED BY APPLICABLE CODES. TRACE CABLE RUNS PRIOR TO CUT-OFF TO CONFIRM THE SOURCE AND SERVICES THEY PROVIDE. DO NOT REMOVE ANY DISCOVERED SYSTEMS/CABLING BEFORE VERIFYING AND COORDINATING WITH BUILDING ENGINEER.</div><div>8. ALL EXG CONDUIT, RISERS, PANELS, WIRING, ETC. TO REMAIN ARE TO BE PREPPED AND CLEANED FOR REUSE. PROTECT EXG FIXTURES, DISTRIBUTION, DEVICES, ETC TO REMAIN FROM DUST, DAMAGE. PREP ALL AFFECTED BY DEMO FOR PATCH, REPAIR & FINISHING TO MATCH ADJACENT UNAFFECTED WORK.</div></div></div><div>PLUMBING DEMOLITION NOTES:</div><div><div><div><div>1. PLUMBING WORK. SCOPE OF PLUMBING WORK TO BE COORDINATED WITH MEP DRAWINGS. EXG FIXTURES, EQUIPMENT, PIPING ON SURFACES SCHEDULED TO BE REMOVED AND LINES TO FIXTURES OR EQUIPMENT TO BE REMOVED AND LINES CAPPED AT THE SOURCE AS REQUIRED BY NYC CODE.</div><div>2. PRIOR TO DEMOLITION, SAFE-OFF ALL CIRCUITING, WATER LINES AND OTHER FACILITIES UTILITIES TO THE PREMISES. LOCK-OUT TAG-OUT AS REQUIRED BY APPLICABLE CODES. TRACE CABLE RUNS PRIOR TO CUT-OFF TO CONFIRM THE SOURCE AND SERVICES THEY PROVIDE. DO NOT REMOVE ANY DISCOVERED SYSTEMS/CABLING BEFORE VERIFYING AND COORDINATING WITH BUILDING ENGINEER.</div><div>3. ALL UNUSED PLUMBING LINES MUST BE CUT BACK TO THE MAIN SOURCE OR RISER AND NOT CUT AND CAPPED AT THE PLACE OF USE.</div><div>4. REMOVE ALL ABANDONED PIPING, PLUMBING HARDWARE, HANGERS, ANCHORS, ETC. CAP UTILITIES TO BE REMOVED AT SOURCE & COORD. WITH PLUMBING DOCS. CUT ANCHORS, HANGERS ETC. ABOVE CEILING/WALL PLANE TO FACILITATE PATCHING.</div><div>5. ALL EXG PIPING AND FIXTURES TO REMAIN TO BE PREPPED AND CLEANED FOR REUSE. PREP ALL AFFECTED BY DEMO FOR PATCH, REPAIR & FINISHING TO MATCH ADJACENT UNAFFECTED WORK.</div></div></div></div><div>DEMOLITION CLEANUP, DISPOSAL AND REPAIR:</div><div><div><div><div>1. PREP ALL SURFACES (WALLS, CLOS, SLAB, WINDOWS, DUCTS, PIPES, ETC) AFFECTED BY DEMO WORK FOR PATCH, REPAIR, AND FINISHING TO MATCH ADJACENT UNAFFECTED SURFACES.</div><div>2. UPON COMPLETION OF DEMO WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AS DIRECTED AND LEAVE ALL AREAS BROOM CLEAN.</div><div>3. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.</div><div>4. REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT & LEGALLY DISPOSE OF MATERIALS OFF SITE. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS LAWS AND ORDINANCES CONCERNING REMOVAL.</div></div></div></div><div>APPLICABLE STANDARDS:</div><div><div><div><div>1. GENERAL APPLICABILITY OF STANDARDS: GENERAL ACCEPTED STANDARDS OF THE CONSTRUCTION INDUSTRY ARE HEREBY MADE A PART OF THE SPECIFICATIONS BY REFERENCE.</div><div>2. REFERENCE STANDARDS: APPLICABLE TRADE REFERENCE STANDARDS (REFERENCED DIRECTLY IN SPECIFICATIONS OR BY GOVERNING REGULATIONS) HAVE PRECEDENCE OVER NON-REFERENCED STANDARDS WHICH ARE RECOGNIZED IN INDUSTRY FOR APPLICABILITY TO WORK. PROVIDE COPIES OF APPLICABLE STANDARDS AS REQUIRED BY THE CITY OF NEW YORK.</div></div></div></div><div>WORK NOTES</div><div><div><div><div>1. WORK FOR THIS PROJECT SHALL BE CARRIED OUT IN ACCORDANCE WITH STATE AND LOCAL CODES AND REQUIREMENTS OR ANY OTHER AGENCY HAVING JURISDICTION. IN ALL CASES THE MORE RESTRICTIVE LIMITATION OF ANY APPLICABLE REQUIREMENTS SHALL BE FOLLOWED. ALL MATERIALS, APPLIANCES AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE AND ALL OTHER APPLICABLE AUTHORITIES.</div><div>2. PERMITS, INSPECTION AND CERTIFICATES REQUIRED BY WORK SHALL BE OBTAINED, KEPT CURRENT AND PAID FOR BY THE CONTRACTOR.</div><div>3. CONTRACTOR SHALL COOPERATE AND COORDINATE WITH ALL OTHER TRADES, THE COMMISSIONER, IN EXECUTING THE WORK DESCRIBED IN THESE CONTRACT DOCUMENTS.</div><div>4. METHODS AND SCHEDULES FOR THE DELIVERY, TRANSPORTATION, AND STORAGE OF MATERIAL THROUGH THE BUILDING MUST BE COORDINATED AND APPROVED BY THE BUILDING MANAGEMENT, IN COORDINATION WITH THE CONTRACTOR. CONTRACTOR TO USE ELEVATOR DESIGNATED BY THE BUILDING MANAGEMENT. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF THE DESIGNATED ELEVATOR. ALL MATERIAL DELIVERIES AND ELEVATOR SCHEDULE SHALL BE COORDINATED AND APPROVED BY THE BUILDING MANAGEMENT.</div><div>5. ACCESS BY THE CONTRACTOR AND WORKERS EMPLOYED BY THE CONTRACTORS TO ALL SPACES WITHIN THE BUILDING EXCEPT THOSE SPECIFICALLY AFFECTED BY THE WORK OF THE PROJECT SHALL BE PROHIBITED UNLESS SPECIFICALLY AUTHORIZED BY THE BUILDING MANAGEMENT.</div><div>6. THE CONTRACTOR SHALL PROVIDE SAFE, FREE AND EASY ACCESS AT ALL TIMES TO ALL EXITS, WALKS AND STAIRS IN AND AROUND THE BUILDING.</div><div>7. DEMOLITION AND REMOVAL SHALL PROCEED IN AN ORDERLY MANNER AVOIDING DISTURBANCES TO THE OPERATIONS OF ADJACENT FACILITIES. ALL DEBRIS AND REFUSE TO BE REMOVED FROM SITE AS REQUIRED AND PROPERLY DISPOSED OF OFF THE PROPERTY. SUBMIT MANIFESTS AS REQUIRED.</div><div>8. FIRES FOR BURNING RUBBISH AND DEBRIS ARE FORBIDDEN.</div><div>9. ANY EXISTING BUILDING ELEMENTS, EQUIPMENT OR OTHER PROPERTY DAMAGED IN THE SEQUENCE OF WORK SHALL BE REPAIRED OR REPLACED AT NO COST TO THE CITY OF NEW YORK TO MATCH ORIGINAL CONDITION.</div><div>10. THE CONTRACTOR WILL NOT LEAVE BUILDING, OR PORTION THEREOF, OPEN TO WEATHER, OR INADEQUATELY PROTECTED. THE CONTRACTOR WILL NEVER PERMIT RAIN OR SNOW TO LEAK INTO BUILDING INTERIOR. THE CONTRACTOR WILL PLACE TEMPORARY MEMBRANE COMPLETELY SEALED BEFORE ANY RAIN OR SNOW BEGINS. ANY DAMAGE CAUSED BY CONTRACTOR'S WORK SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT CONTRACTOR'S OWN EXPENSE.</div><div>11. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY AND SHALL HOLD THE CITY OF NEW YORK, COMMISSIONER AND THEIR ASSIGNED REPRESENTATIVE HARMLESS FROM LITIGATION AND OTHER LEGAL CLAIMS ARISING OUT OF HIS FAILURE TO PERFORM THIS WORK.</div><div>12. IN THE COURSE OF EXECUTING THE SPECIFIED SCOPE OF WORK, ALL AND ANY TEMPORARY PROTECTION WHICH IS REQUIRED TO PROPERLY AND ADEQUATELY PROTECT EXISTING CONDITIONS, ADJACENT PROPERTIES, INTERIOR SPACES, IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS INCLUDED IN THE WORK OF THIS CONTRACT. NOTIFICATION OF ANY BREACH OF THE PROTECTION MUST BE REMEDIED IMMEDIATELY.</div><div>13. LIFE SAFETY SYSTEMS MUST REMAIN INTACT AND PROTECTED FROM FALSE TRIGGERING DURING CONSTRUCTION. SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS MUST BE RESTORED TO FULL ACTIVE OPERATION AT THE END OF EACH WORKING DAY.</div></div></div></div><div>TEMPORARY FACILITIES:</div><div><div><div><div>1. SCAFFOLDING, HOISTS, DUMPSTERS, CHUTES: ALL SCAFFOLDING AND PLANKING, SWING STAGING OR PIPE SCAFFOLDING REQUIRED FOR THIS WORK SHALL BE THE RESPONSIBILITY OF CONTRACTOR (UNLESS WITHIN THE SCOPE OF A SPECIFIC SUBCONTRACTOR) AND IS CONSIDERED A PART OF THE WORK. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY EQUIPMENT IN HIS WORK. ALL EQUIPMENT SHALL BE APPROVED FOR USE BY THE CITY OF NEW YORK AND ALL APPLICABLE AUTHORITIES.</div><div>2. THE CONTRACTOR SHALL PROVIDE (OR REQUIRE SUBCONTRACTORS TO PROVIDE) ALL NECESSARY PERMITS RELATED TO SCAFFOLDING, DUMPSTERS, HOISTS, AND CHUTES AND PAY FOR PRIOR TO WORK BEGINNING.</div><div>3. THE CONTRACTOR SHALL PROVIDE CONTINUOUS ACCESS TO THE WORK FOR THE COMMISSIONER SO THAT HE MAY REVIEW IT ANY TIME AT NO ADDITIONAL COST TO THE OWNER.</div></div></div><div>PROTECTION:</div><div><div><div><div>1. BUILDING WALLS SHALL BE PROTECTED ADEQUATELY (WITH TARPS OR OTHER SUITABLE MATERIAL) FROM SOIL, STAINS, OR SPILLS AT ALL HOISTING POINTS. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE FROM ANY OPERATION UNDER THIS CONTRACT. ANY SUCH DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. TO THE TENANTS' AND BUILDING MANAGEMENT'S SATISFACTION OR BE RESTORED TO THE ORIGINAL CONDITION.</div><div>2. THE CONTRACTOR TO PROVIDE BARRICADES, RETAINING ROPES, SAFETY ELEMENTS (ACTIVE/PASSIVE) AND ANY APPROPRIATE SIGNAGE REQUIRED BY OSHA/NSC AND/OR THE CITY OF NEW YORK/COMMISSIONER.</div></div></div><div>CLEANING UP:</div><div><div><div><div>1. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AS REQUIRED TO MAINTAIN A SAFE AND ORDERLY WORK AREA. RUBBISH SHALL NOT BE ALLOWED TO ACCUMULATE WASTE. THE CONTRACTOR SHALL SUPPLY HIS OWN CONTAINER FOR RUBBISH REMOVAL. LOCATION SHALL BE AS APPROVED BY THE CITY OF NEW YORK BEFORE PLACEMENT. THE CONTRACTOR SHALL PRESENT, IN WRITING, A PLAN IN WHICH DEBRIS WILL BE REMOVED FROM BUILDING. THE CONTRACTOR WILL OBTAIN AND PAY FOR ANY AND ALL NECESSARY PERMITS RELATED TO CONTAINERS, CHUTES AND SITE PROTECTION OR AS OTHERWISE REQUIRED BY JOB CONDITIONS.</div></div></div></div><div>SPECIAL INSPECTIONS:</div><div><div><div><div>NEW YORK CITY BUILDING CODE, § 27-157 PLANS REQUIRED: WHENEVER EQUIPMENT, MATERIALS, ASSEMBLIES, FORMS, OR METHODS OF CONSTRUCTION ARE SUBJECT TO "SPECIAL INSPECTION", AS PROVIDED IN SECTIONS 27-131 AND 27-135 OF THIS SUBCHAPTER, ALL SUCH EQUIPMENT, MATERIALS, ASSEMBLIES, FORMS, OR METHODS OF CONSTRUCTION SHALL BE LISTED ON THE TITLE SHEET OF THE PLANS, OR THE SHEET IMMEDIATELY FOLLOWING AS SUBJECT TO "SPECIAL INSPECTION" IN ACCORDANCE WITH CODE REQUIREMENTS.</div><div>1. INSPECTION OF SELECTED MATERIALS, EQUIPMENT, INSTALLATION, FABRICATION, ERECTION OR PLACEMENT OF COMPONENTS AND CONNECTIONS MADE DURING THE PROGRESS OF THE WORK TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND PROVISIONS OF THE NEW YORK CITY CONSTRUCTION CODES, SHALL BE MADE BY A SPECIAL INSPECTOR. THE CITY OF NEW YORK WILL RETAIN THE SERVICES OF THE SPECIAL INSPECTOR AND BEAR THE COSTS FOR THE PERFORMANCE OF SPECIAL INSPECTIONS IN COMPLIANCE WITH NYC CONSTRUCTION CODES REQUIREMENTS OR AS ADDITIONALLY MAY BE CALLED FOR IN THE PROJECT SPECIFICATIONS, EXCEPT AS NOTED BELOW FOR FORM TR-3: TECHNICAL REPORT FOR CONCRETE DESIGN MIX. THE SPECIAL INSPECTOR SHALL BE AN ENTITY COMPLIANT WITH THE REQUIREMENTS OF THE NEW YORK CITY CONSTRUCTION CODES.</div><div>2. FORM TR3: TECHNICAL REPORT CONCRETE DESIGN MIX: THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND BEAR ALL COSTS ASSOCIATED WITH THE FILING AND SECURING OF APPROVALS, IF ANY, FOR FORM TR3: TECHNICAL REPORT CONCRETE DESIGN MIX, INCLUDING, BUT NOT LIMITED TO, ENGAGING THE SERVICES OF A NEW YORK CITY LICENSED CONCRETE TESTING LAB FOR THE REVIEW AND APPROVAL OF CONCRETE DESIGN MIX, TESTING, SIGNATURES AND PROFESSIONAL SEALS, ETC., COMPLIANT WITH NYC DEPARTMENT OF BUILDINGS REQUIREMENTS, FOR EACH CONCRETE DESIGN MIX.</div><div>3. THE CONTRACTOR SHALL NOTIFY THE RELEVANT SPECIAL INSPECTOR IN WRITING AT LEAST 72 HOURS BEFORE THE COMMENCEMENT OF ANY WORK REQUIRING SPECIAL INSPECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND BEAR RELATED COSTS TO ASSURE THAT ALL CONSTRUCTION OR WORK SHALL REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL THE REQUIRED INSPECTION IS COMPLETED.</div><div>4. INSPECTIONS AND TESTS PERFORMED UNDER "SPECIAL INSPECTION" SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH THE CONTRACT DOCUMENTS, AND THAT THERE IS NO WARRANTY GIVEN TO THE CONTRACTOR BY THE CITY OF NEW YORK IN CONNECTION WITH SUCH INSPECTIONS AND TESTS OR CERTIFICATIONS MADE UNDER "SPECIAL INSPECTIONS".</div><div>5. THE CONTRACTOR MUST COORDINATE WITH THE RESIDENT ENGINEER OR DDC PROJECT MANAGER TO PROVIDE ACCESS AND SCHEDULE THE WORK FOR INSPECTION BY THE SPECIAL INSPECTOR.</div></div></div><div>MECHANICAL NOTES:</div><div><div><div><div>1. ALL HANGERS VISIBLE FROM OCCUPIABLE SPACE MUST BE STRAIGHT AND PLUMB.</div><div>2. ALL WORK TO BE IN CONFORMANCE WITH ARCHITECTURAL DRAWINGS (PLANS, RCP'S, ELEVATIONS AND DETAILS).</div></div></div></div><div>ELECTRICAL/FIRE ALARM/SECURITY/TEL-DATA/AUDIO-VISUAL NOTES:</div><div><div><div><div>1. ALL ELECTRICAL WORK TO BE COMPLETED IN ACCORDANCE WITH APPLICABLE STANDARDS AND CODES.</div><div>2. CONTRACTOR TO NOTIFY COMMISSIONER IF NEW CIRCUITS ARE REQUIRED TO ACCOMPLISH SCOPE INDICATED.</div><div>3. ANY UPGRADING OF CIRCUITS SHALL UTILIZE ARC-FAULT TYPE CIRCUIT BREAKERS.</div><div>4. ALL GROUNDING WALL OUTLETS TO BE ORIENTED WITH GROUND PRONG DOWN.</div><div>5. SEE ENGINEERING DRAWINGS AND SPECS FOR DEVICE SPECIFICATIONS. REFER TO "A" SERIES ARCHITECTURAL DRAWINGS FOR DEVICE LOCATIONS. SYMBOLS AND TYPICAL MOUNTING HEIGHTS (G101).</div><div>6. SEE G101 FOR SYMBOLS KEY AND TYPICAL DEVICE MOUNTING HEIGHTS.</div><div>7. SEE A201 1ST FLOOR REFLECTED CEILING PLAN FOR CEILING MOUNTED DEVICE LOCATIONS AND WIRE ROUTING.</div><div>8. SEE ARCHITECTURAL INTERIOR ELEVATIONS FOR WALL MOUNTED DEVICE LOCATIONS. VERIFY IN FIELD WITH COMMISSIONER PRIOR TO INSTALLATION.</div><div>9. SEE COORDINATED DEVICE, FURNITURE, AND EQUIPMENT PLANS FOR FLOOR AND WALL MOUNTED DEVICE LOCATIONS. VERIFY IN FIELD WITH COMMISSIONER PRIOR TO INSTALLATION.</div><div>10. ALL WIRING THAT IS NOT CONCEALED FROM VIEW MUST BE ROUTED IN CONDUIT AND ROUTED PER COMMISSIONER'S SPECIFIED ROUTING. CM/CONTRACTOR TO REQUEST FROM COMMISSIONER ROUTING FOR ANY LOCATION WHERE ROUTING MUST BE EXPOSED BUT NOT SPECIFIED.</div><div>11. ALL GROUPED OUTLETS, SWITCHES ETC. TO BE COMBINED INTO MULTI-GANG BOXES WITH MULTI-GANG FACE PLATES. ALL OUTLETS, SWITCHES, ETC TO BE COMMERCIAL GRADE DECORA DEVICES. ALL FACE PLATES TO BE DECORA DESIGNER FACE PLATES. FACE PLATES ON WHITE PAINTED WALLS TO BE WHITE, FACE PLATES ON COLOR PAINTED OR GRAPHICS WALLS TO BE DARK GRAY (PROVIDE SAMPLES FOR COMMISSIONER).</div><div>12. ALL WORK TO BE IN CONFORMANCE WITH ARCHITECTURAL DRAWINGS (PLANS, RCP'S, ELEVATIONS AND DETAILS).</div></div></div></div><div>PROJECT ADDRESS: W 155TH ST & EDGECOMBE AVE NEW YORK, NY 10032</div><div>BLOCK: 2107 LOT: 1 NUMBER OF STORIES: 0 ZONE: PARK ZONING MAP: USE AND OCCUPANCY CLASSIFICATION: B CONSTRUCTION CLASSIFICATION: II-B (NON-COMBUSTIBLE) STRUCTURAL CATEGORY: II BLDG HEIGHT: MAXIMUM 36'-0"</div><div>LOT AREA REGULATIONS: LOT AREA: 15,346SF EXISTING BUILDING AREA: N/A EXISTING BUILDINGS: 0</div><div>CLIENT/AGENCY: ARCHITECTURE STUDENT MANHATTAN PUBLIC LIBRARY 476 5th Ave, New York, NY 10018 T 123 456 789 AUGUST BREEN 25 EAST 13TH ST NEW YORK, NY 10013 T 123 456 789</div><div>ARCHITECTURAL WORK FILED IN COMPLIANCE WITH 2014 NYC CONSTRUCTION CODES ANSI A117.1 2009 AND NYC BUILDING CODE CHAPTER 11 UNIFORM FIRE CODE, STATE OF NY 1997 2014 NYC PLUMBING CODE (IPC 2003) 2014 NYC MECHANICAL CODE (IMC 2003) 2011 NYC ELECTRICAL CODE (NEC 2005) NY'S ENERGY CONSERVATION CONSTRUCTION CODE TITLE 9S – 2016 NYC ECC NYC FIRE/LIFE SAFETY CODE, NYC FIRE CODE (NFPA 5000) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</div><div>SPECIAL INSPECTIONS REQUIRED BY CODE</div><div><div><div><div>SPECIAL INSPECTION</div><div>CODE/SECTION</div></div><div><div>PER TR1: FOOTING AND FOUNDATION LOWEST FLOOR ELEVATION STRUCTURAL WOOD FRAME ENERGY CODE COMPLIANCE FIRE-RESISTANCE RATED CONSTRUCTION STRUCTURAL STEEL – WELDING STRUCTURAL STEEL – DETAILS CONCRETE – CAST-IN-PLACE MASONRY MASTIC & INTUMESCENT FIRE-RESISTANT COATINGS STRUCTURAL STABILITY – EXISTING BUILDINGS FIRE-RESISTANT PENETRATIONS AND JOINTS POST INSTALLED ANCHORS (BB# 2014-018, 2014-019) SUBGRADE INSPECTION SUBSURFACE CONDITIONS – FILL PLACEMENT SUBSURFACE CONDITIONS – IN-PLACE DENSITY DEEP FOUNDATION ELEMENTS HELICAL PILES (BB#2014-020) EXCAVATION – SHEETING, SHORING, AND BRACING PLACEMENT ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS AND DETENTION FACILITIES INSTALLATION FLOOD ZONE COMPLIANCE CONCRETE DESIGN MIX CONCRETE SAMPLING AND TESTING</div><div>BC110.3.1 BC110.3.2 BC110.3.3 BC 110.3.5 BC 110.3.4 BC 1704.3.1 BC 1704.3.2 BC 1704.4 BC 1704.5 BC 1704.12 BC 1704.20.1 BC 1704.27 BC 1704.32 BC 1704.7.1 BC 1704.7.2 BC 1704.7.3 BC 1704.8 BC 1704.8.5 BC 1704.20.2 BC 1704.21.2 BC 1704.29, BC G105 BC 1905.3, BC 1913.5 BC 1905.6, BC 1913.10</div></div></div><div><div>PER TR8: INSULATION PLACEMENT AND R VALUES PENETRATION U-FACTOR AND PRODUCT RATING PENETRATION AIR LEAKAGE AIR SEALING AND INSULATION – VISUAL INTERIOR LIGHTING POWER LIGHTING CONTROLS MAINTENANCE INFORMATION</div><div>IA2, IA2 IA3, IA3 IA4, IA4 IA6, IA6 IC2, IC3 IC5 ID1, ID1</div></div></div><div>REQUIRED INSPECTIONS AND TESTS OF MATERIALS DESIGNATED FOR CONTROLLED INSPECTION SHALL BE MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR PROFESSIONAL ENGINEER LICENSED IN NY STATE RETAINED BY OR ON BEHALF OF THE CITY OF NEW YORK, WHO SHALL BE OR SHALL BE ACCEPTABLE TO THE ARCHITECT OR PROFESSIONAL ENGINEER LICENSED IN NY STATE WHO PREPARED OR SUPERVISED THE PREPARATION OF THE PLANS.</div><div>THE CONTRACTOR SHALL COORDINATE WITH THE RESIDENT ENGINEER LICENSED IN NY STATE OR DDC PROJECT MANAGER TO PROVIDE ACCESS AND SCHEDULE THE WORK FOR INSPECTION BY THE CONTROLLED INSPECTION ENGINEER LICENSED IN NY STATE.</div><div>STUDIO AUGUST</div><div>25 EAST 13TH STREET, E200 NEW YORK, NEW YORK 10003 T 802 777 2575 WWW.AUGUSTBREEN.COM</div><div>Kion Nemati STRUCTURAL ENGINEERS 25 EAST 13TH STREET, E200 NEW YORK, NEW YORK 10003</div><div>Jessica Doermann ODE / LIFE SAFETY CONSULTATION 25 EAST 13TH STREET, E200 NEW YORK, NEW YORK 10003</div><div>Nathaniel Jones MEP/FP ENGINEERS / LIGHTING 25 EAST 13TH STREET, E200 NEW YORK, NEW YORK 10003</div><div>Nathaniel Jones FACADE / ENVELOPE CONSULTATION 25 EAST 13TH STREET, E200 NEW YORK, NEW YORK 10003</div><div>Chris Pollock ACOUSTICS, AV, IT, SECURITY CONSULTANTS 25 EAST 13TH STREET, E200 NEW YORK, NEW YORK 10003</div><div>Elise Iribarne & Ron Ronacher IT SECURITY CONSULTANTS 25 EAST 13TH STREET, E200 NEW YORK, NEW YORK 10003</div><div>DOB STAMPS AND SIGNATURES</div><div>DOB BSCAN STICKER</div><div></div><div>OWNER: NEW YORK PUBLIC LIBRARY 476 5TH AVENUE NEW YORK, NY 10018</div><div>PROJECT: LUMINARIES LAWN LIBRARY</div><div>W 155TH ST & EDGECOMBE AVE NEW YORK, NY 10032</div><div>DRAWING TITLE: GENERAL NOTES</div><div>SEAL: DATE: SCALE: NA DRAWN: TMA CHECKED: LR DRAWING: G001.00 SHEET: OF XYZ</div></div></div></div></div></div></div></div>					

ABBREVIATIONS

ABAnchor Bolt

ABSAbsorption

ACAcoustical

ACTAcoustical tile

A/CAir Conditioning

ADArea Drain & Access Door

ADJAdjacent

ADJTAdjustable

AFFAbove Finish Floor

AGGAggregate

ALUMAluminum

ALTAlternate

APAccess Panel

APXApproximately

ARCHArchitect –ural

ASCAbove Suspended Ceiling

ASPHAsphalt –ic

AUTAutomatic

AVAverage

BOCBottom of Curb

BDBoard

BELBelow

BTNBetween

BITBituminous

BLDGBuilding

BLKBlock

BLKGBlocking

BLKDBlackened

BMBeam

BOTBottom

BOBottom of

BPLBearing Plate

BRGBearing

BSMTBasement

BSBoth Sides

BURBuilt Up Roofing

BWBoth Ways

CABCabinet

CBCatch Basin

CDCore Drill

CEMCement

CERCeramic

CGCorner Guard

CHCeiling Height

CIPCast in Place

CJControl Joint

CKCaulk –ing

CLGCeiling

CLCClear

CLRClear –ance

CLSClosure

CMTCeramic Mosaic Tile

CMUConcrete Masonry Unit

COLColumn

CONCConcrete

CONFConference

CONNConnection

CONNConstruction

CONTContinuous

COMPCompress –ion –ed

CORRCorridor

CTCeramic Tile

CTRCenter

CTSKCountersunk

CMConstruction Manager

DBLDouble

DEPDepressed

DTLDetail

DEMODemolished, Demolition

DFDrinking Fountain

DIAGDiagonal

DIAMDiameter

DIFFDifference

DIMDimension

DIRDirector

DISDispenser

DISTDistance

DNDown

DODoor Opening

DPDumper

DPRDamp–proofing

DRDoor

DSDownspout

DSPDry Standpipe

DWRDrawing

DWRDrawer

DOBDepartment of Buildings

DOCSDocuments

EEast

EAEach

EBExpansion Bolt

ECEmpty Conduit

EFEach Face

EJExpansion Joint

ELElevation

ELECElectrical

ELEV Elevator

EMEREmergency

ENCLEnclose –ure

ENTEntrance

EPElectrical Panel–board

EPOXYEpoxy Industrial flooring

EQEqual

EQPEquipment

ERFEpoxy Resinous Flooring

EUExit Units

EWCElectrical Water Cooler

EXGExisting

EXHExhaust

EXPExpansion

EXPOExposed

EXTExterior

FACPFire Alarm Control Panel

FBBFire Brick

FBOFurnished By Others

FDFloor Drain

FEFire Extinguisher

FFFinished Floor

FECFire Extinguisher Cabinet

FFEFinished Floor Elevation

FFLFinished Floor Line

FGLFiberglass

FINFinish –ed

FHFire Hose

FHCFire Hose Cabinet

FHSFire Hose Station

FLFloor –ing

FLGFlashing

FLUORFluorescent

FLXFlexible

FNDFoundation

FOBFace Of Building

FSFloor Sink

GA Gage

GALVGalvanized

GARGarbage

GBGrab Bar

GDGrade, Grading

GLGlass, Glassing

GNDGround

GRGrade

GTGrout

GYPGypsum

GWBGypsum Wall Board

GWTL glazed Wall Tile

HBHose Bid

HCHollow Core

HCAPHandicap –ped

HDRHeader

HDWDHardwood

HDWHardware

HMHollow Metal

HORHorizontal

HPHigh Point

HRHandrail

HTHeight

HTGHeating

HVACHeating, Ventilation & AirConditioning

HWHHot Water Heater

IDInside Diameter

INCLInclude –d –ing

INSULInsulation

INTInterior

INVInvert

JANJanitor

JCJanitor's Closet

JTJoint

KITKitchen

KOKnockout

LLength

LABLaboratory

LADLadder

LAMLaminate

LAVLavatory

LBLLabel

LGLarge

LPLow Point

LTLight

LVRLouver

LWLightweight

MACHMachine

MAS Masonry

MATLMaterial

MAXMaximum

MECHMechanical

MEDMedium

MEUMasonry Expansion Joint

MEMBMembrane

MGRManager

MTLMetal

MFRManufacture –r

MHMan Hole

MINMinimum

MIRMirror

MISCMiscellaneous

MLDMolding

MODMasonry Opening

MODModular

MRBMarble

MTMount –ed, –ing

MULMullion

NNorth

NICNot in Contract

NONumber

NOMNominal

NTSNot To Scale

OAOverall

OBSObscure

OCOn Center

ODOutside Diameter

OFFOffice

OHOverhead

OPGOpening

OPOperable

PPeople

PARParallel

PARTPartial Closure

PBPanic Bar

PRCPRecast

PEDPedestal

PFBPrefabricated

PFNPrefinished

PLPlate

PLAMPlastic Laminated

PLASPlaster

PLATPlatform

PLBGPlumbing

PNLPanel

PNTPaint

PRPair

PRFPreformed

PRODProduct

PROJProjection

PTPoint

PTDPainted

PTNPartition

PTRPaper Towel Receptacle

PVPave –d, –ing

PVCPolyvinyl Chloride

PVMT Pavement

PWDPlywood

QRADQuarry Tile

R AND S Riser

RA Rod and Shelf

RADReturn Air

RCRadius

RCReinforced Concrete

RD Roof Drain

RE–BARSteel Reinforced Bar

RECRecycled

REFReference

REFRRefrigerator

REGRegister

REINFReinforce –d, –ing

REMRemove

REQ'DRequired

RESResilient

RETReturn

REVRevision –s, Revised

RFRoofing

RHFH Roof Hatch

RFLReflect –ed, –ive, –or

RHRight Hand

RLRoll –ing

RRoom

RO Rough Opening

ROWRight Of Way

RUBRubber

RVSReverse –side

RWC Rain Water Conductor

S South

SCSolid Core

SCHSchedule

SCNScreen –ing

SDSoap Dispenser

SECSecurity

SECTSection

SERVSERVICE

SFSquare Foot –feet

SFPSpray–On Fireproofing

SGFTStructural Glazed Facing Tile

SHShelf, Shelving

SHRShower

SHTSheet

SHTHGSheathing

SHOShort –d

SIMSIMilar

SKLSkylight

SLSlab

SNDSanitary Napkin Dispenser

SNRSanitary Napkin Receptacle

SNTSealant

SPSoundproof

SPECSpecification

SPKSpeaker

SPRSprinkler

SQSquare

SSCorridor

SSStation

STDStandard

STLSteel

STRUCStructure/Structural

SURFSurface

SUSUSPended

SVSheet Vinyl

SYMSymmetry –ical

SYNSynthetic

SYSTSystem

T Treat

TBTowel Bar

T&BTop & Bottom

TC Top of Curb

TELTelephone

TEMPTemporary

TERTelecommunications Equipment

TERRTrazzo

TFFT Top of Finished Floor

TSERTelecommunications Service

T>orque & Groove

THKThick –ness

THRThresholds

TP Top of Pavement

TPDToilet Paper Dispenser

TRTreaded

TO Top of

TOFTop of Foundation

TOSTop of Slab

TSTLTop of Steel

TVTelevision

TYPTypical

UCUndercut

UNOUnless Noted Otherwise

URUrinal

VPVapor Barrier

VCTVinyl Composition Tile

VERTVertical

VESTVestibule

VIFVerify in Field

VWBVinyl Wall Base

VWCVinyl Wall Covering

VWVVerify With Manufacturer

W West

WWith

WAPWireless Access Point

WCWater Closet

WDWood

WGWire Glass

WHWall Hung

WDWWindow

WMWire Mesh

WOWindow Opening

W/OWithout

WPWaterproof –ing

WRWater Resistant

WSWaterstop

WSCTWainscot

WTWeight

WTWWall to Wall

WBBWood Wall Base

WBFWelded Wire Fabric

1

G002

SCALE: 1/2" = 1'-0"

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SCALE: 1/2" = 1'-0"

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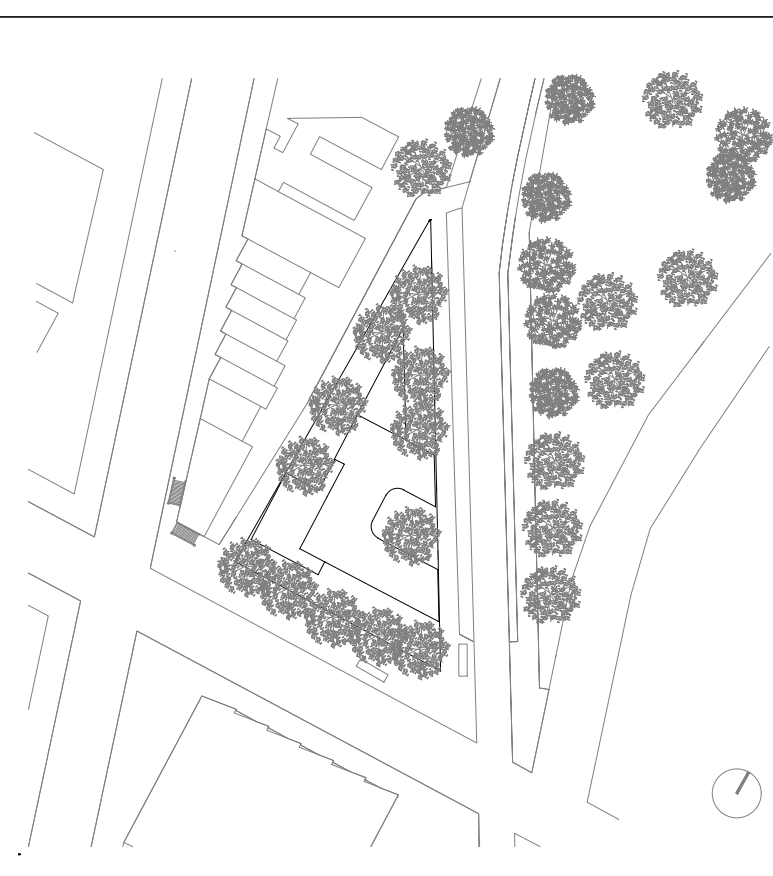
Elise Iribarne & Ron Ronacher
IT, SECURITY CONSULTANTS
25 EAST 13TH STREET, E200
NEW YORK, NEW YORK 10003



DOB STAMPS AND SIGNATURES



DOB BSCAN STICKER



OWNER:
NEW YORK PUBLIC LIBRARY
476 5TH AVENUE
NEW YORK, NY 10018

PROJECT:
LUMINARIES LAWN LIBRARY

W 155TH ST & EDGECOMBE AVE
NEW YORK, NY 10032

DRAWING TITLE:
ACCESSIBILITY DIAGRAMS

SEAL:	DATE:
	SCALE: AS NOTED
	DRAWN:
	CHECKED:
	DRAWING:
G102.00	
SHEET:	OF XYZ

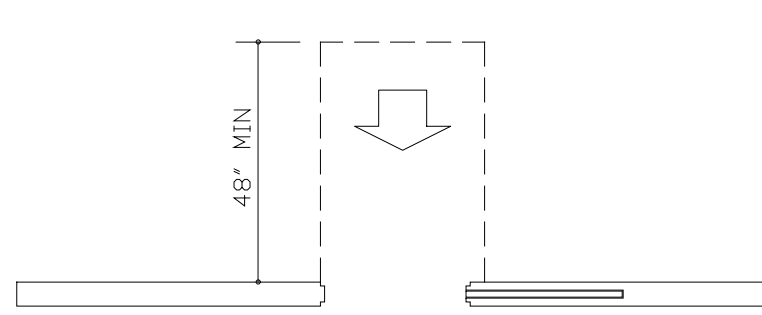


FIG. 404.2.4.2: FRONT APPROACH SLIDING AND FOLDING DOORS
SCALE: NTS

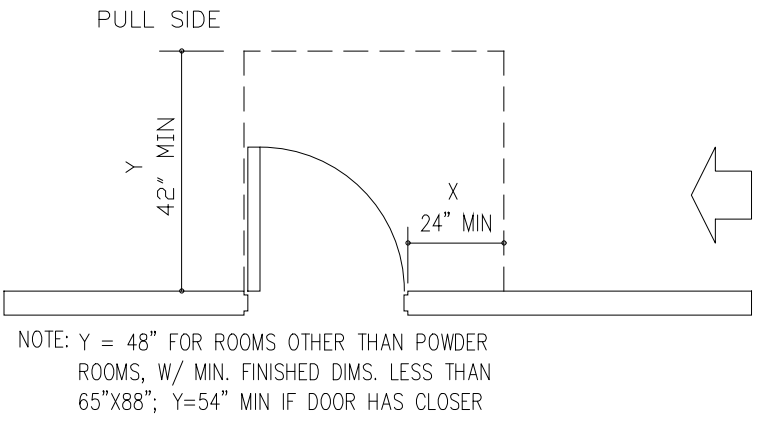


FIG. 404.2.4.1: LATCH-PULL SIDE APPROACH-SWINGING DOOR
SCALE: NTS

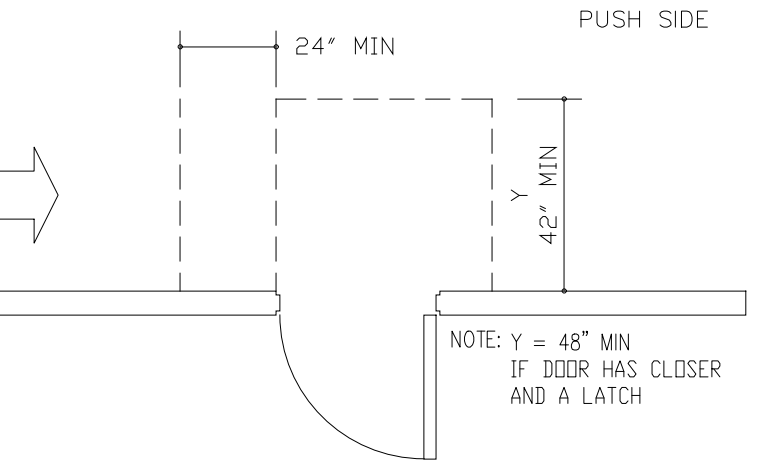


FIG. 404.2.4.1: HINGE-PUSH SIDE APPROACH-SWINGING DOOR
SCALE: NTS

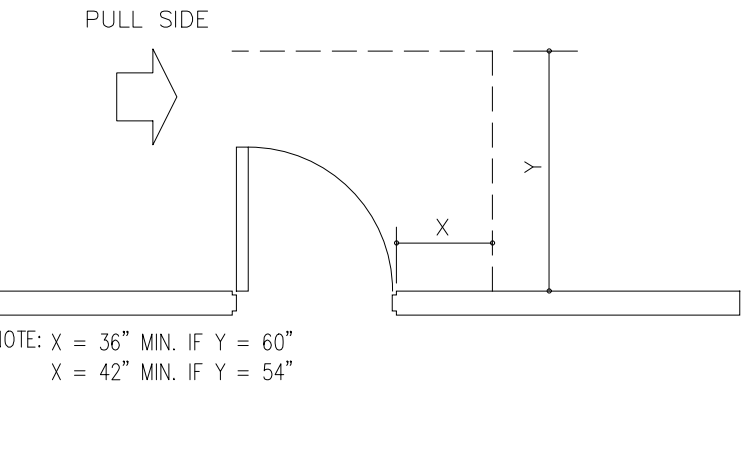


FIG. 404.2.4.1: SIDE APPROACH-SWINGING DOOR-PULL SIDE
SCALE: NTS

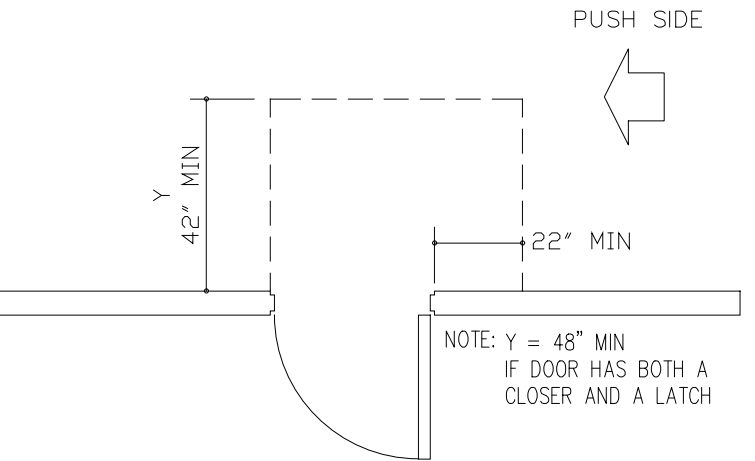


FIG. 404.2.4.1: SIDE APPROACH-SWINGING DOOR-PUSH SIDE
SCALE: NTS

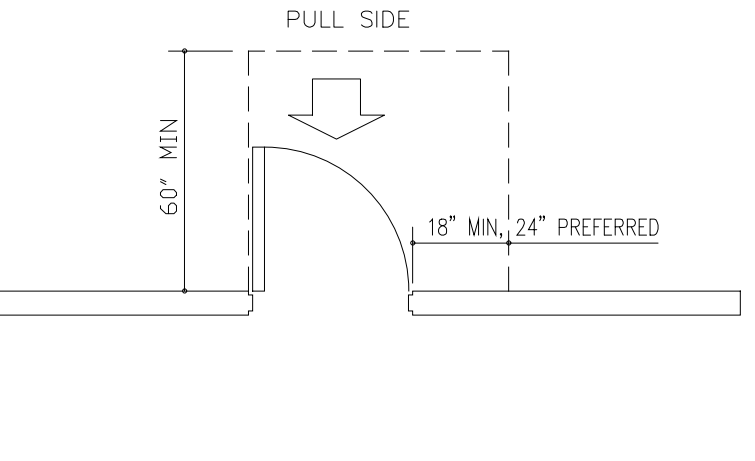


FIG. 404.2.4.1: FRONT APPROACH-SWINGING DOOR-PULL SIDE
SCALE: NTS

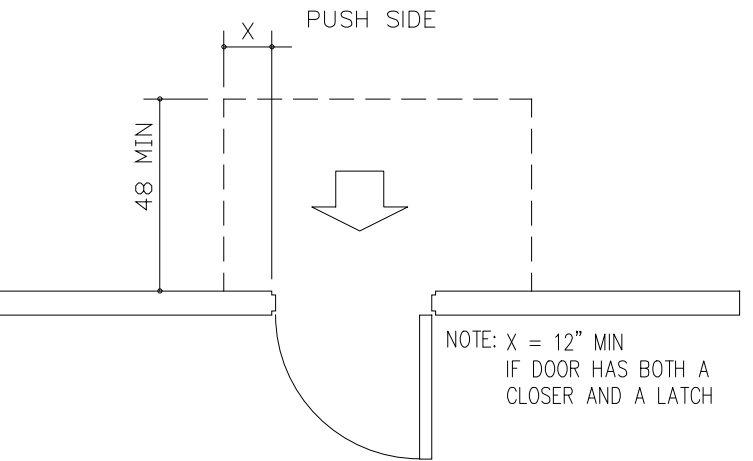


FIG. 404.2.4.1: FRONT APPROACH-SWINGING DOOR-PUSH SIDE
SCALE: NTS

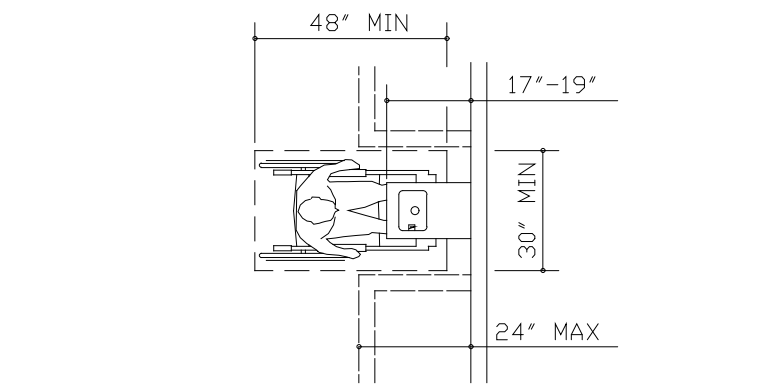
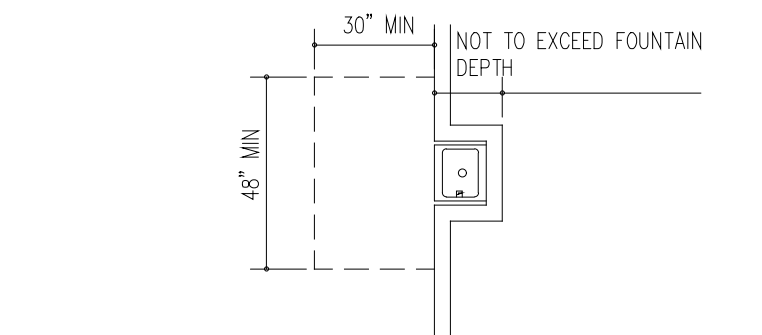


FIG. 602.5 + SECT. 305: CLEAR FLOOR SPACE
SCALE: NTS



DIAG 50D: BUILT-IN FOUNTAIN OR COOLER
SCALE: NTS

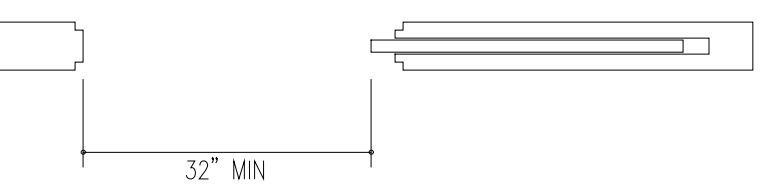


FIG. 404.2.3: CLEAR DOORWAY WIDTH-SLIDING/FOLDING DOORS
SCALE: NTS

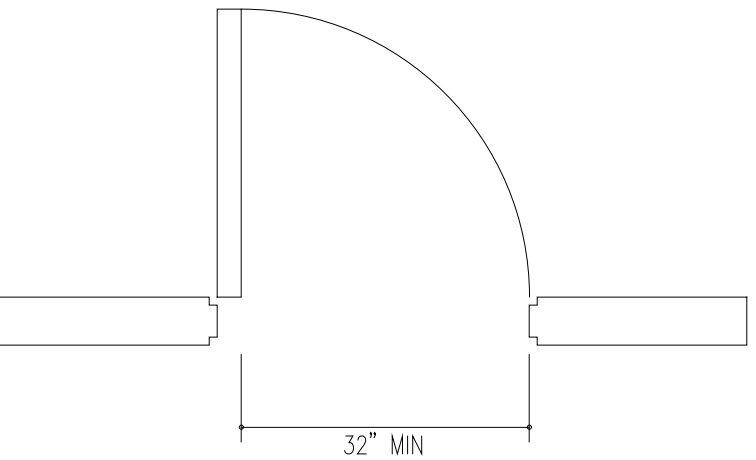
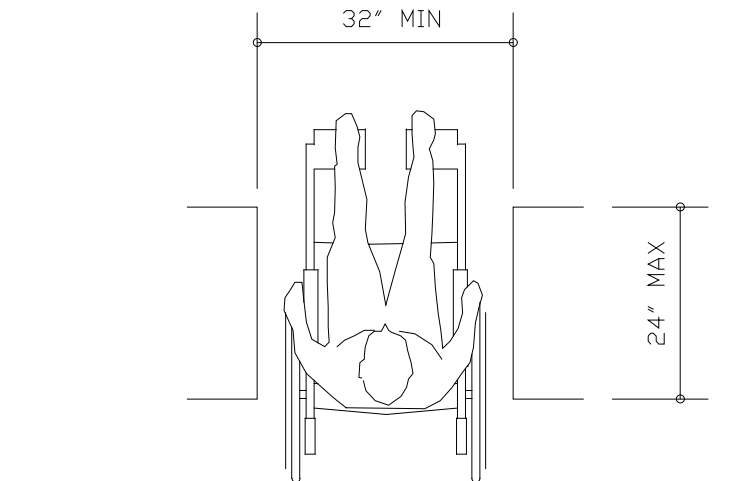


FIG. 404.2.3: CLEAR DOORWAY WIDTH-HINGED DOOR
SCALE: NTS



SECT. 404.2: MAXIMUM DOORWAY DEPTH
SCALE: NTS

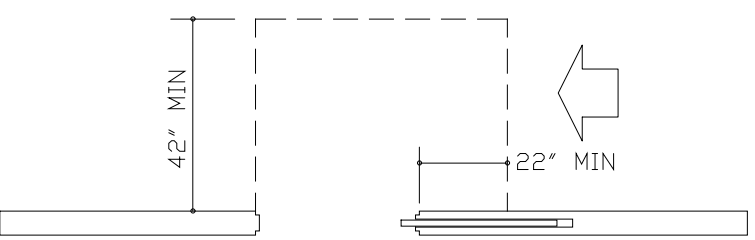


FIG. 404.2.4.2: HINGE SIDE APPROACH-SLIDING/FOLDING DOORS
SCALE: NTS

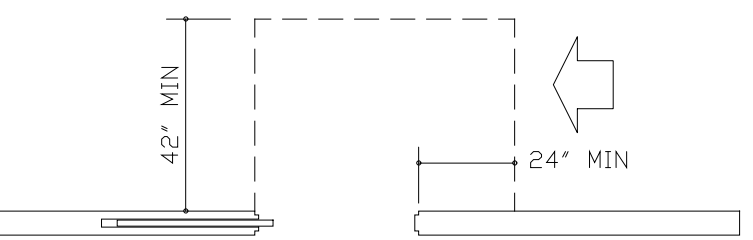


FIG. 404.2.4.2: LATCH SIDE APPROACH-SLIDING/FOLDING DOORS
SCALE: NTS

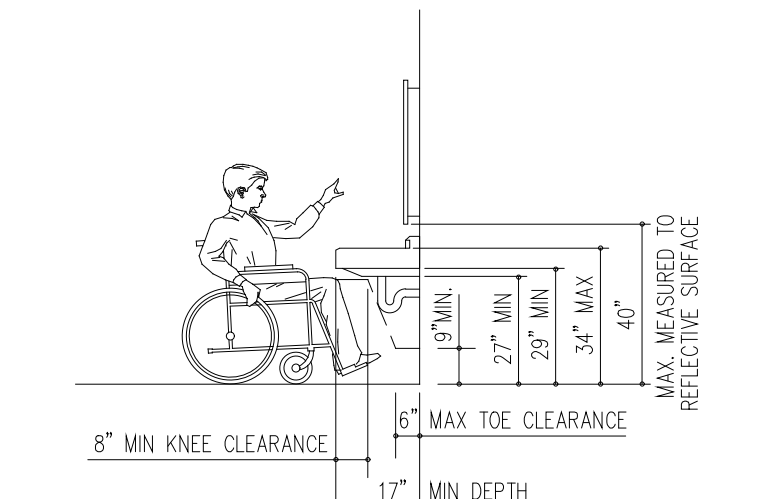


FIG.306.3: LAVATORY CLEARANCES
SCALE: NTS

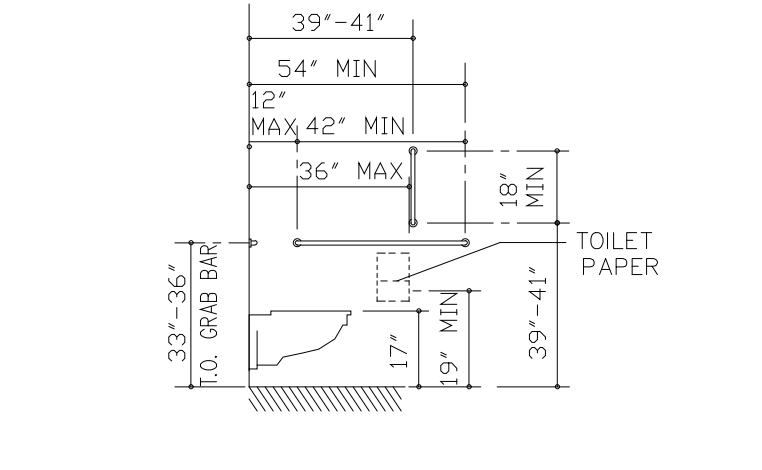


FIG. 604.5.1: SIDE WALL OF STANDARD TOILET STALL
SCALE: NTS

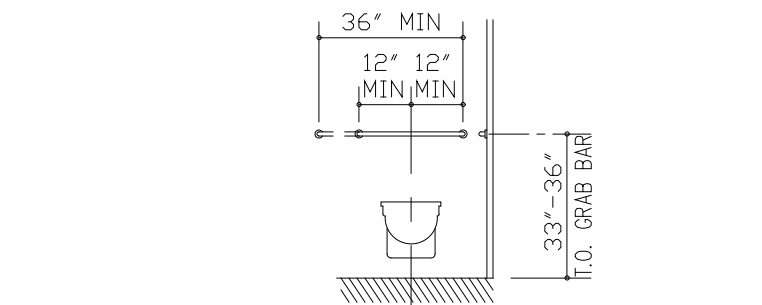


FIG. 604.5.2: REAR WALL OF STANDARD TOILET STALL
SCALE: NTS

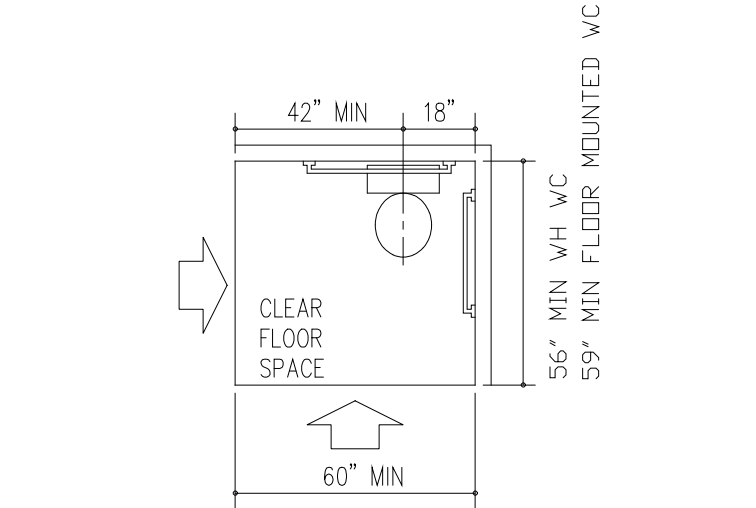


FIG. 608.1.1: CLEAR FLOOR SPACE AT ACCESIBLE WATER CLOSET
SCALE: NTS

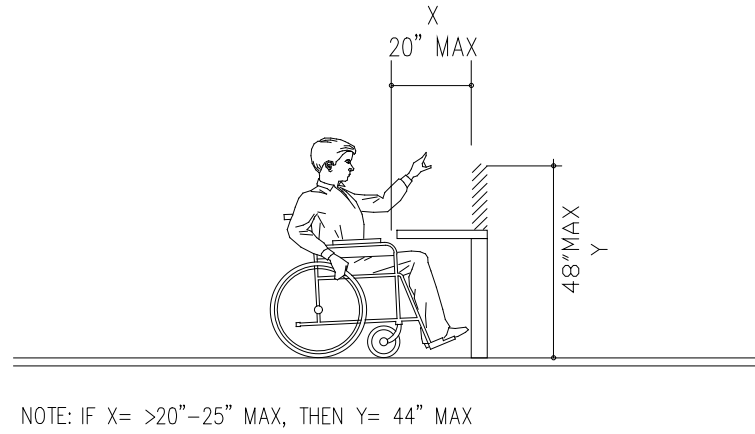


FIG: 308.2.2: OBSTRUCTED HIGH FORWARD REACH LIMITS
SCALE: NTS

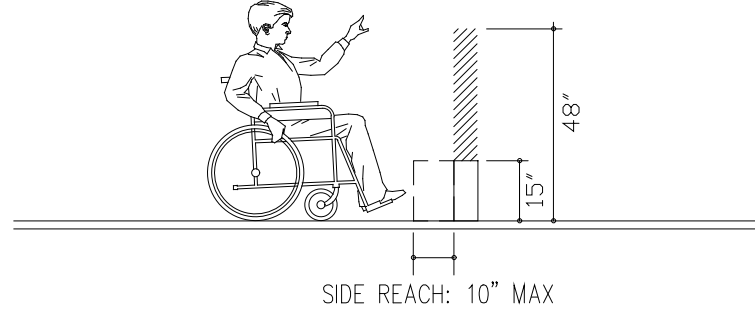
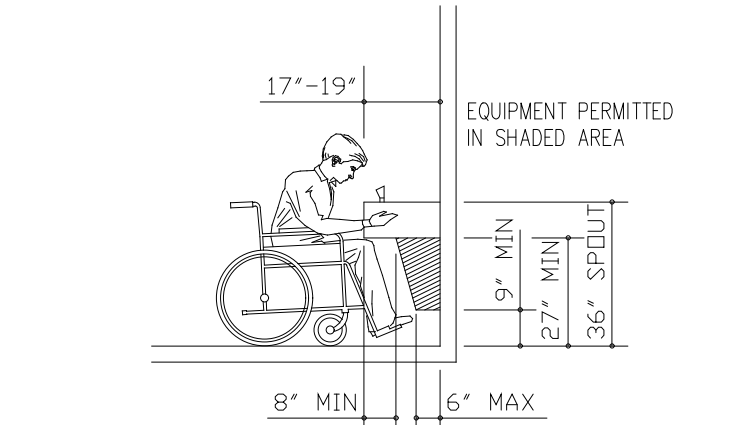


FIG. 308.2.1 & 308.3.1: UNOBSTRUCTED FORWARD & SIDE REACH: 10\"/>



SECT. 306.2: SPOUT HEIGHT AND KNEE CLEARANCE
SCALE: NTS

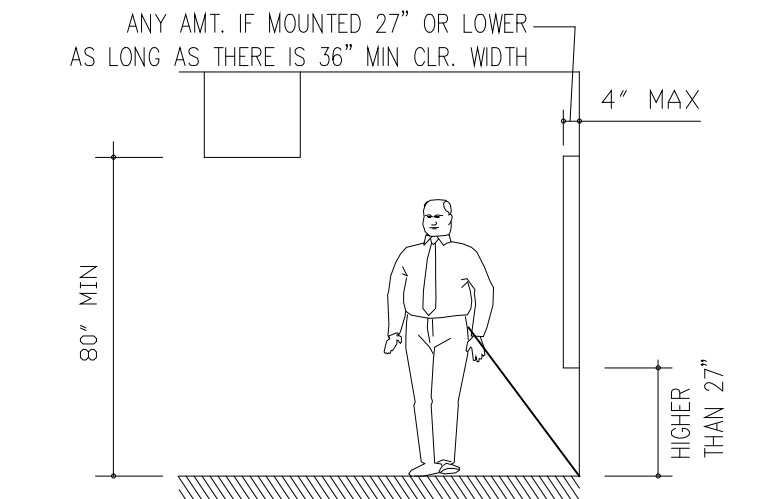


FIG. 307.2: PROTRUDING OBJECTS WALKING PARALLEL TO WALL
SCALE: NTS

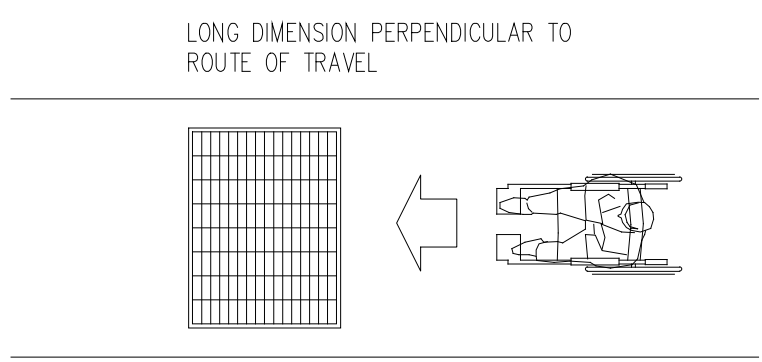


FIG. 302.3: GRATINGS ORIENTATION
SCALE: NTS

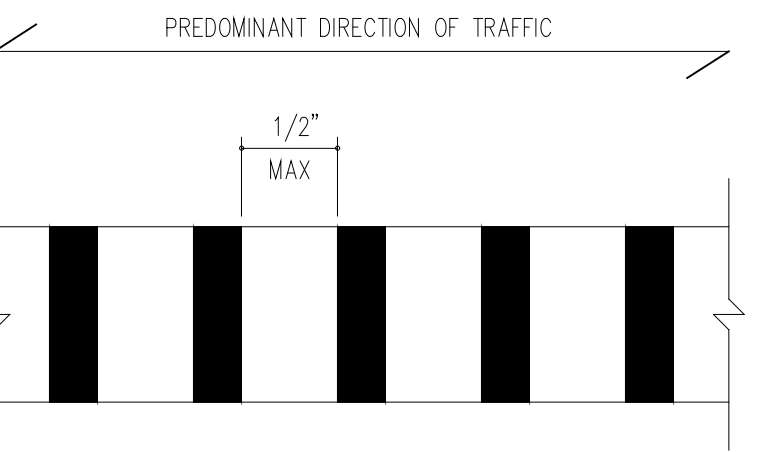
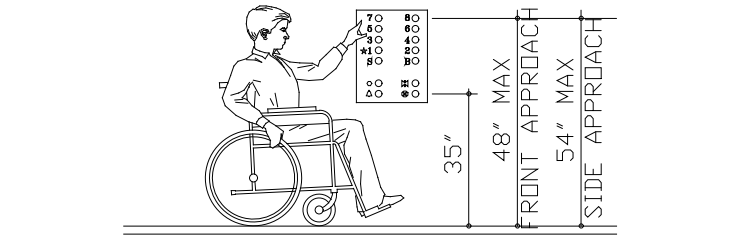
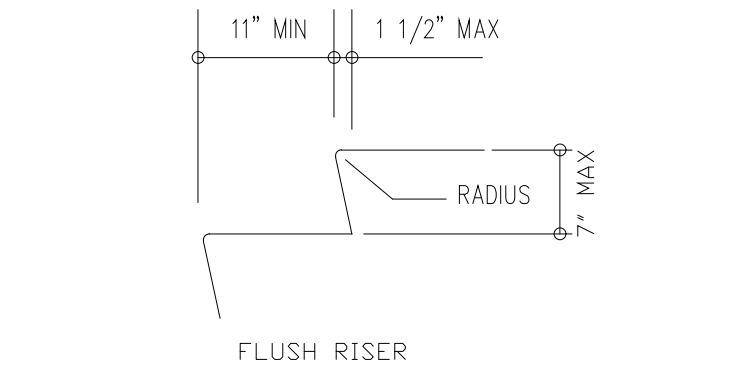


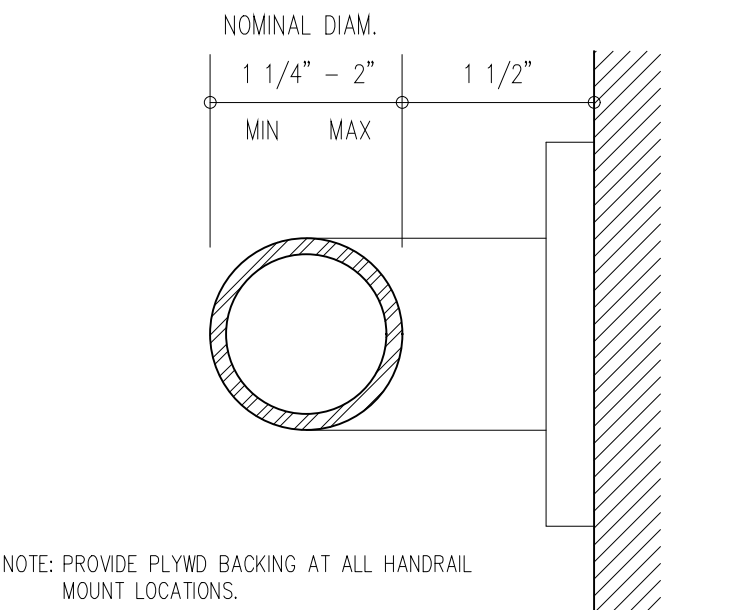
FIG. 302.3: GRATINGS
SCALE: NTS



SECT. 407.4.6: CAR CONTROL HEIGHT
SCALE: NTS



SECT. 504: USABLE TREAD WIDTH & ACCEPT. NOSINGS
SCALE: NTS



SECT. 609.2: SIZE AND SPACING OF HANDRAILS AND GRAB BARS
SCALE: NTS

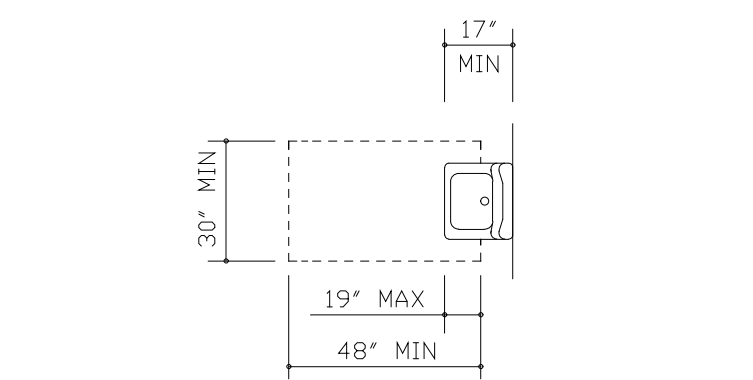
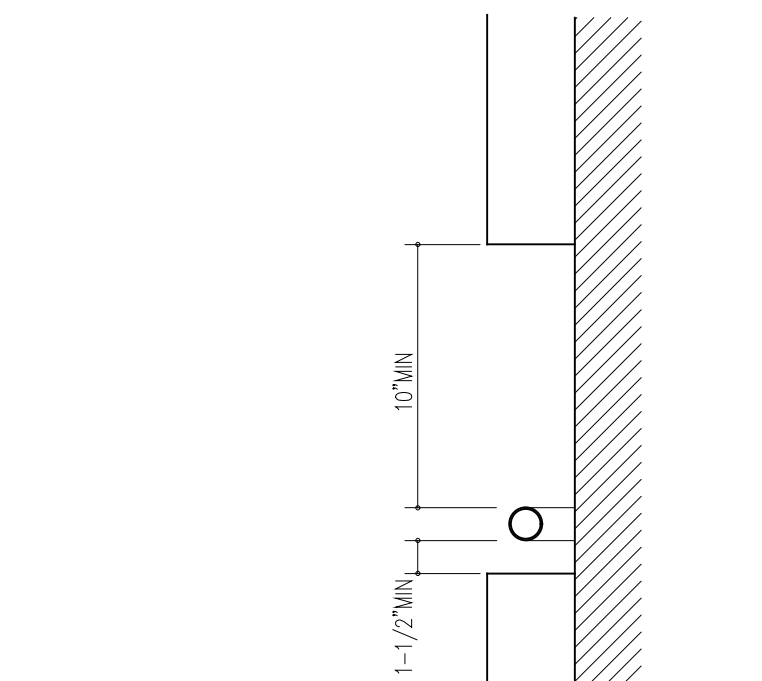


FIG. 305.5: CLEAR FLOOR SPACE AT LAVATORIES
SCALE: NTS



PROTRUDING OBJECTS MOUNTED NEAR GRAB BARS
SCALE: NTS

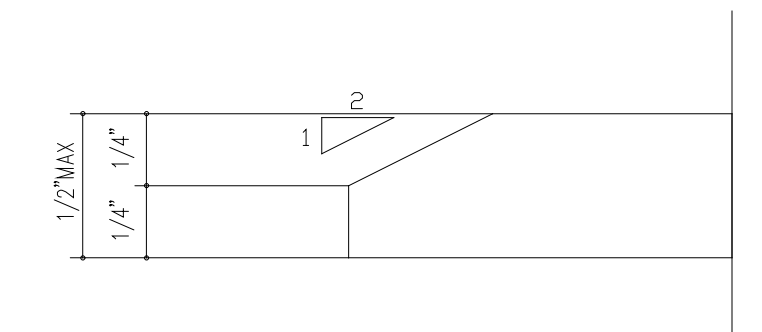


FIG. 303.3: BEVELED CHANGES IN LEVEL
SCALE: NTS

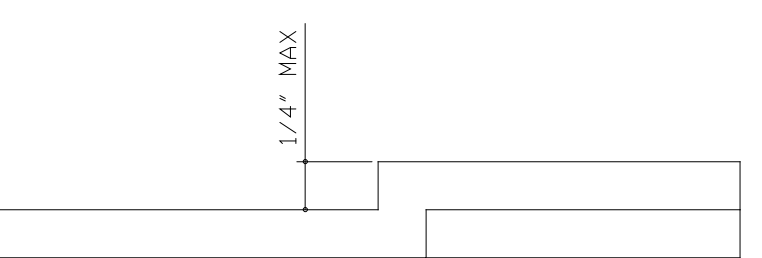


FIG. 303.2: VERTICAL CHANGES IN LEVEL
SCALE: NTS

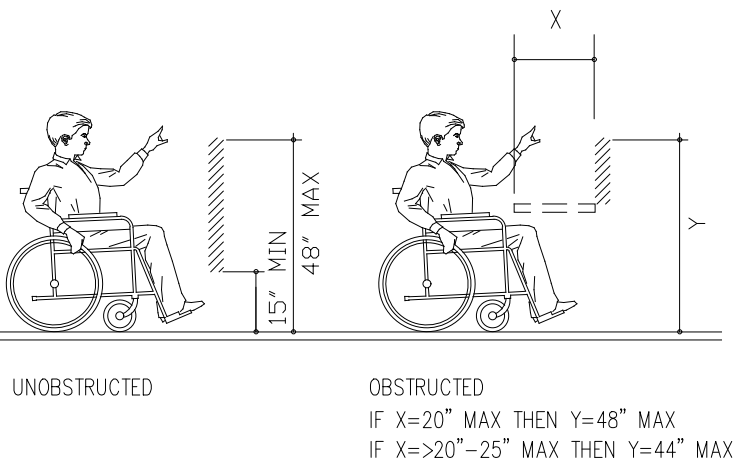


FIG: 308.2.1 & 308.2.2: HIGH AND LOW FORWARD REACH LIMITS
SCALE: NTS

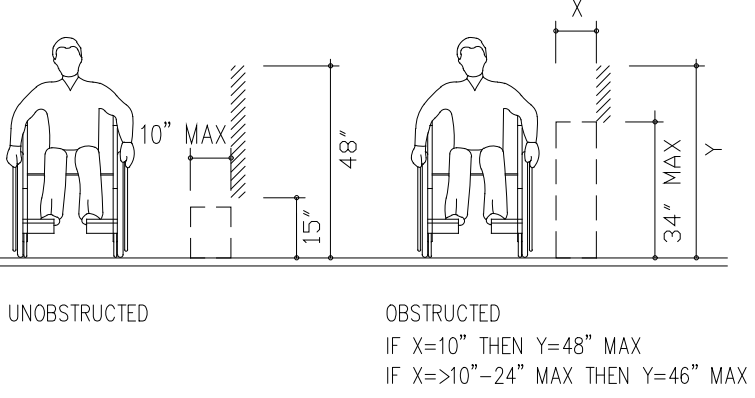
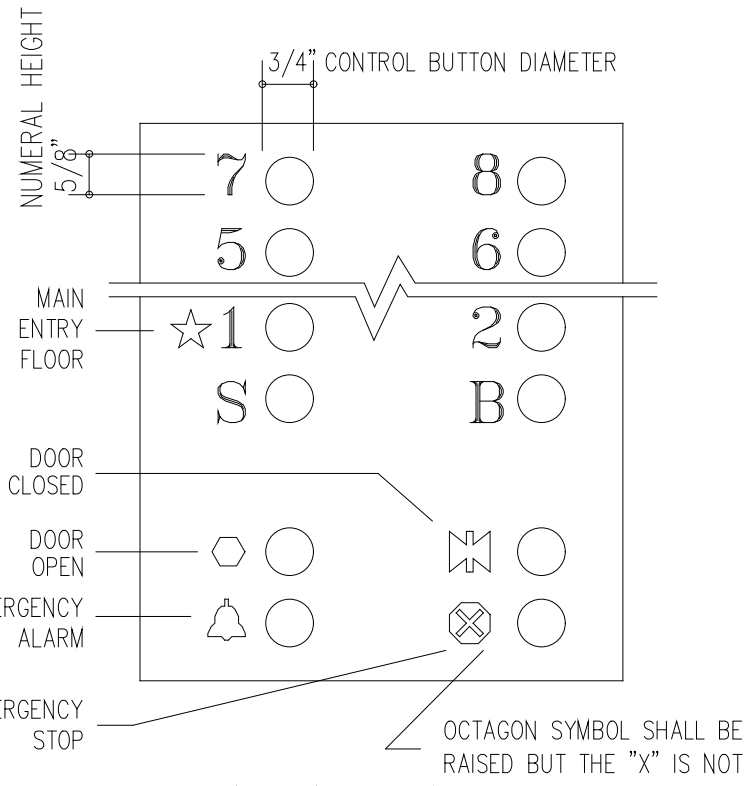
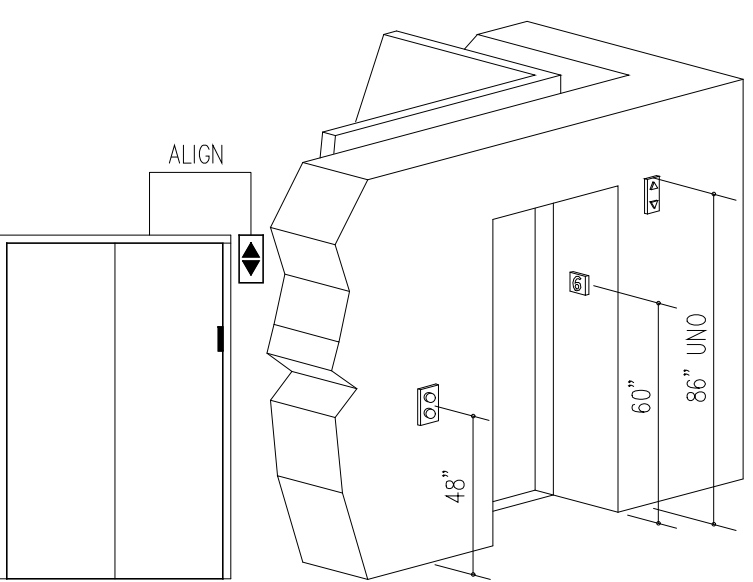


FIG. 308.3.1 & 308.3.2: HIGH AND LOW SIDE REACH LIMITS
SCALE: NTS



SECT. 407.4.6: CAR CONTROL PANEL DETAIL
SCALE: NTS



SECT. 407.3: HOISTWAY AND ELEVATOR ENTRANCES
SCALE: NTS

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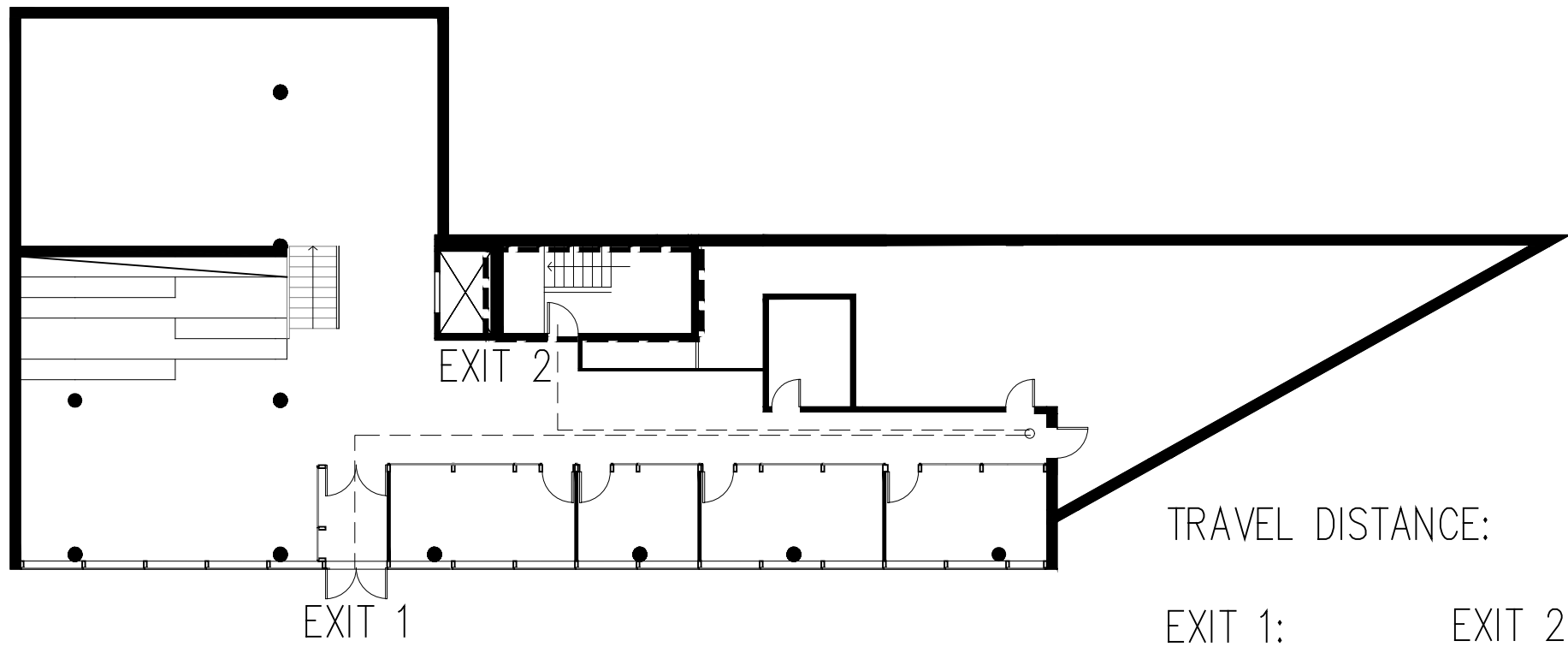
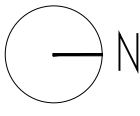
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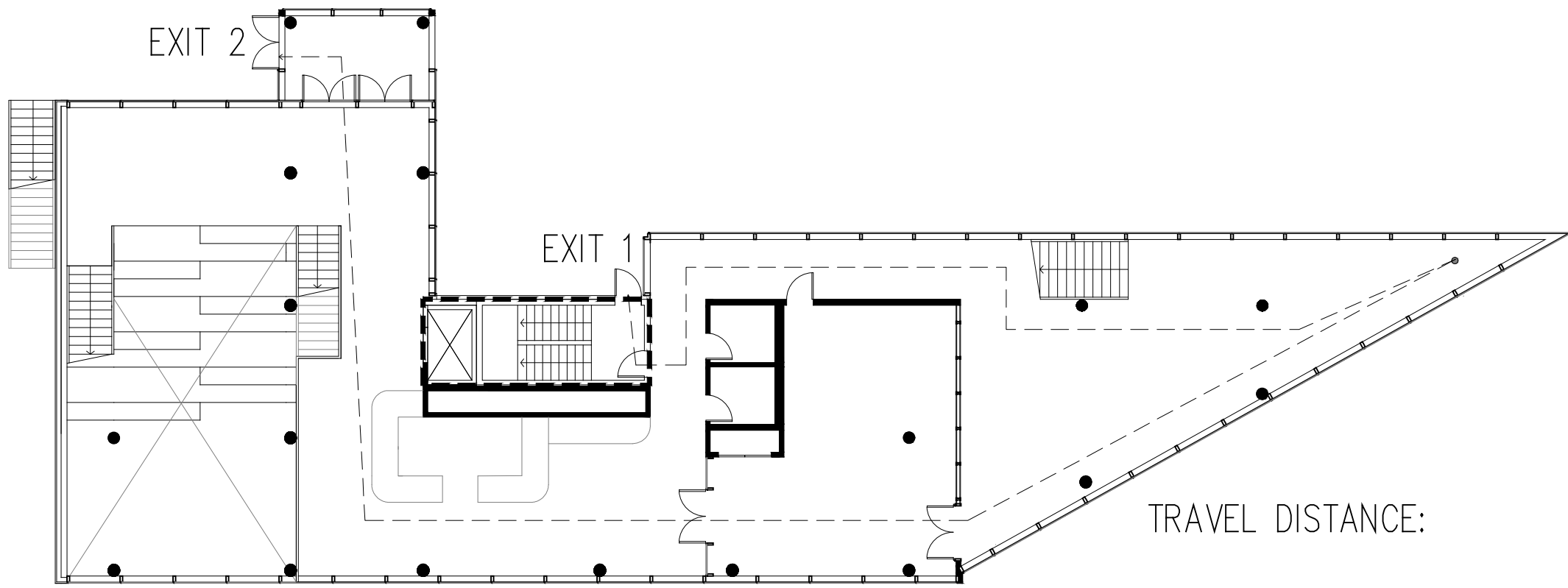
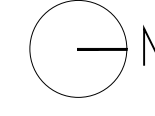
1 BASEMENT EGRESS & FIRE SEPARATION PLAN
SCALE: 1/16"=1'-0"



TRAVEL DISTANCE:

EXIT 1: EXIT 2:
MAX: 200' MAX: 200'
ACTUAL: 76' ACTUAL: 57'

2 1ST FLOOR EGRESS & FIRE SEPARATION PLAN
SCALE: 1/16"=1'-0"



TRAVEL DISTANCE:

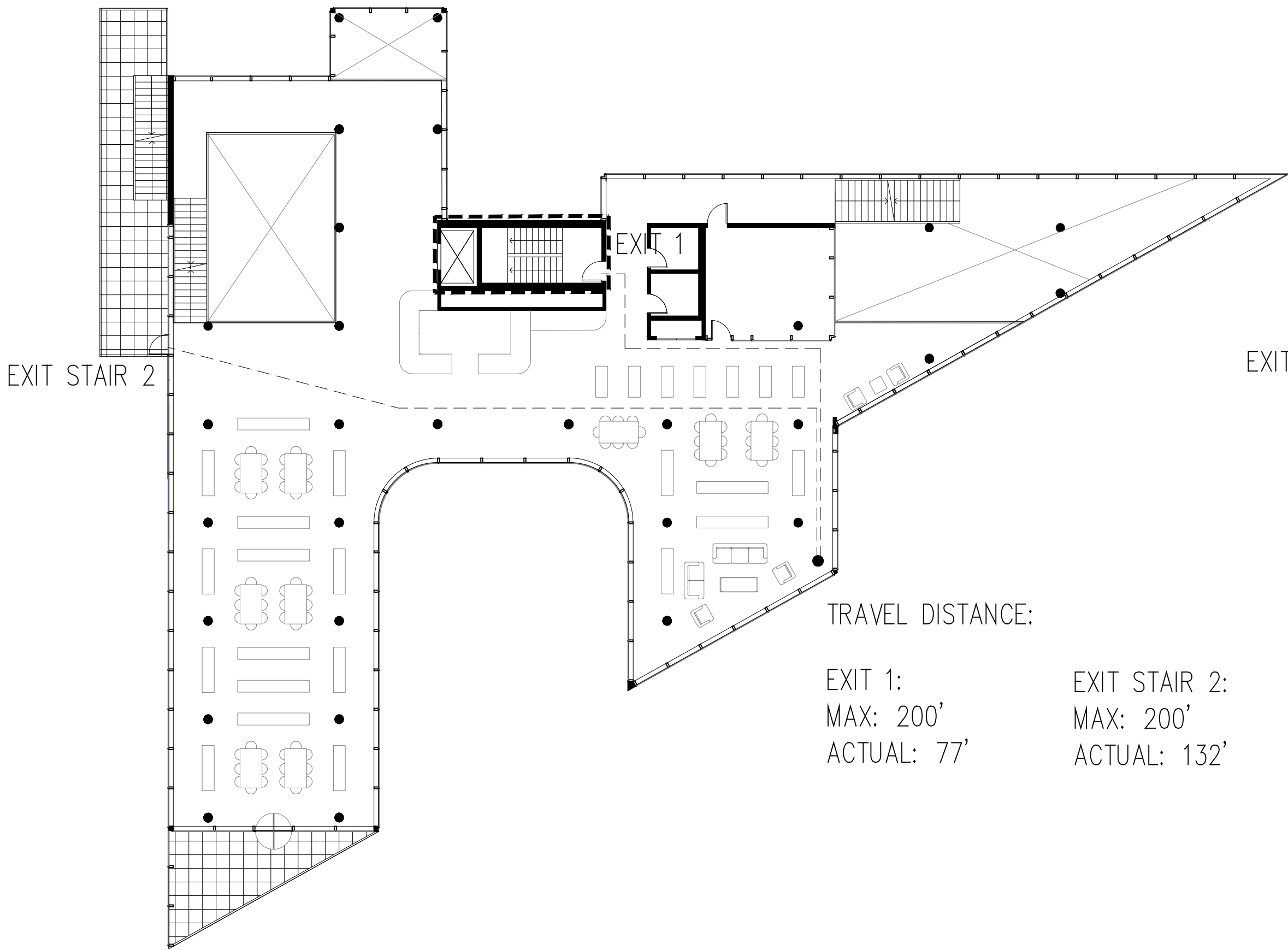
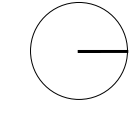
EXIT 1: EXIT 2:
MAX: 200' MAX: 200'
ACTUAL: 121' ACTUAL: 183'

CODE KEY:	
---	2-HR RATED WALL
----	1-HR RATED WALL
----	TRAVEL DISTANCE
- - - -	LOT LINE

EXIT ACCESS TRAVEL DISTANCE SHALL
NOT EXCEED 250 FT. PER SECTION
1015.1, TABLE 1015.1

F-2, W-2, U WITH SPRINKLER SYSTEM:
250 FT.

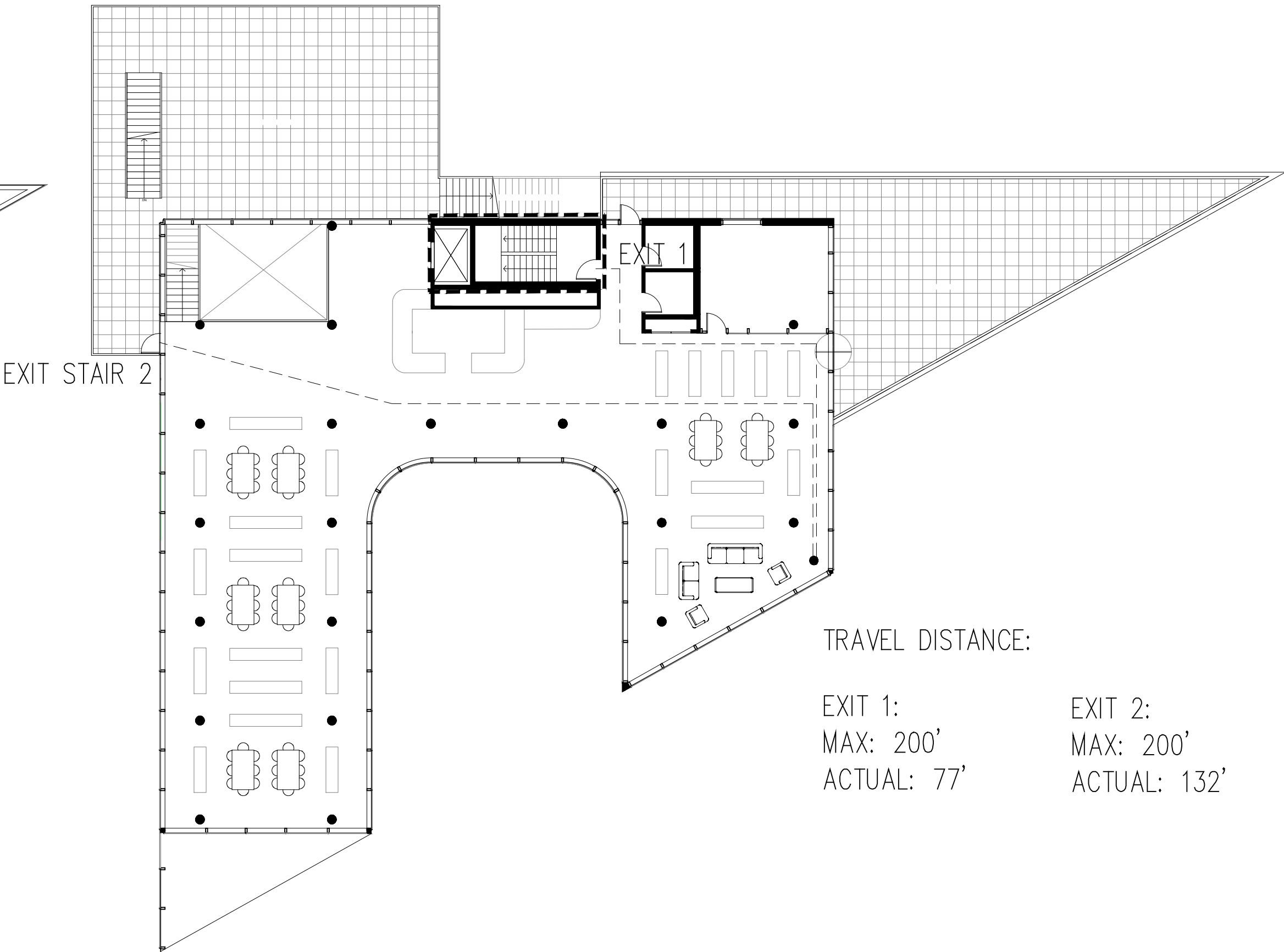
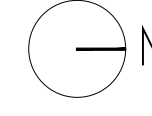
3 2ND FLOOR EGRESS & FIRE SEPARATION PLAN
SCALE: 1/16"=1'-0"



TRAVEL DISTANCE:

EXIT 1: EXIT STAIR 2:
MAX: 200' MAX: 200'
ACTUAL: 77' ACTUAL: 132'

4 3RD FLOOR EGRESS & FIRE SEPARATION PLAN
SCALE: 1/16"=1'-0"



TRAVEL DISTANCE:

EXIT 1: EXIT 2:
MAX: 200' MAX: 200'
ACTUAL: 77' ACTUAL: 132'

FLOOD ZONE COMPLIANCE

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, AE, AH, VE, AR
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/30/2023 at 8:15 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

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PLUMBING CALCULATIONS

LAVATORY OCCUPANT LOAD ANALYSIS (2008 BC, TABLE 1004.1.2)

FLOOR	OCCUPANCY	ADA	NON ADA	LAVATORIES
BASEMENT	45	1	0	1
FIRST FLOOR	65	2	0	2
SECOND FLOOR	100	2	0	2
THIRD FLOOR	90	2	0	2
	300	7	0	7

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CODE COMPLIANCE NOTES:

ENERGY CODE COMPLIANCE (NYC 2020 ECC) — PRESCRIPTIVE METHOD

BUILDING ENVELOPE REQUIREMENTS: OPAQUE ASSEMBLIES (TABLES C402.1.4&C402.1.3)

CLIMATE ZONE: 4
BUILDING CATEGORY: ALL OTHER

ENVELOPE COMPONENT	MIN. REQUIRED/R-VALUE METHOD (TABLE C402.1.3)	MAX. REQUIRED / U-FACTOR METHOD (TABLE C402.1.4)
ROOF-INSULATION ABOVE DECK	R-33	U-0.030
WALL-MASS	R-13.25	U-0.086
WALL-WOOD FRAMED	R-13+R-3.8 OR R-20	U-0.061
WALL-BELOW GRADE	R-10	C-0.119
FLOOR-MASS	R-16.7	U-0.051
OPAQUE DOOR	R-4.75 (NONSWINGING)	U-0.50 (SWINGING)

BUILDING ENVELOPE REQUIREMENTS: FENESTRATION (TABLE C402.4)

CLIMATE ZONE: 4
BUILDING CATEGORY: ALL OTHER

ENVELOPE COMPONENT	MIN. REQUIRED/R-VALUE METHOD (TABLE C402.1.3)	SHGC (TABLE C402.1.4)
--------------------	---	-----------------------

VERTICAL FENESTRATION:

NONMETAL FRAMING (ALL) U-0.28

METAL FRAMING FIXED
BELOW 95' U-0.30
95' AND ABOVE U-0.36

METAL FRAMING OPERABLE
BELOW 95' U-0.40
95' AND ABOVE U-0.42

CURTAINWALL FIXED U-0.36

ENTRANCE DOORS U-0.77

SKYLIGHTS U-0.48

SHGC-0.38

OCCUPANCY LOAD CALCULATION

OCCUPANCY GROUP: B
BASEMENT OCCUPANT LOAD ANALYSIS (2008 BC, TABLE 1004.1.2)

ROOM TAG	#	FLOOR AREA (NSF OR GSF)	SF/OCCUPANT	OCCUPANCY
LECTURE SEATING	001	525 SF	15	35
LECTURE SPACE	011	500 SF	15	4
STUDY ROOMS	002-005	583 SF	20	5
ADA TOILET	010	55 SF		1
IT	006	70 SF		
MECHANICAL	007-008	1,372	200	
BASEMENT TOTAL		4,220		45

SECOND FLOOR OCCUPANT LOAD ANALYSIS (2008 BC, TABLE 1004.1.2)

ROOM TAG	#	FLOOR AREA (NSF OR GSF)	SF/OCCUPANT	OCCUPANCY
ADULT READING ROOM	201-202	4325 SF	35	98
LIBRARIAN OFFICE	203	300 SF	20	4
ADA TOILETS	204-205	110 SF		
2ND FLOOR TOTAL		6,300		102

FIRST FLOOR OCCUPANT LOAD ANALYSIS (2008 BC, TABLE 1004.1.2)

ROOM TAG	#	FLOOR AREA (NSF OR GSF)	SF/OCCUPANT	OCCUPANCY
VESTIBULE	108	155 SF		
COMMUNITY ROOM 1	103	700 SF	25	30
COMMUNITY ROOM 2	107	1080 SF	25	43
ADA TOILETS	104-105	110 SF		
1ST FLOOR TOTAL		4,190		73

THIRD FLOOR OCCUPANT LOAD ANALYSIS (2008 BC, TABLE 1004.1.2)

ROOM TAG	#	FLOOR AREA (NSF OR GSF)	SF/OCCUPANT	OCCUPANCY
CHILDREN'S READING ROOM	301	2320 SF	35	45
YOUNG ADULT READING ROOM	302	1550 SF	20	30
LIBRARIAN OFFICE	303	300 SF		5
ADA TOILETS	304-305	110 SF		
3RD FLOOR TOTAL		5,180		80

ZONING DATA

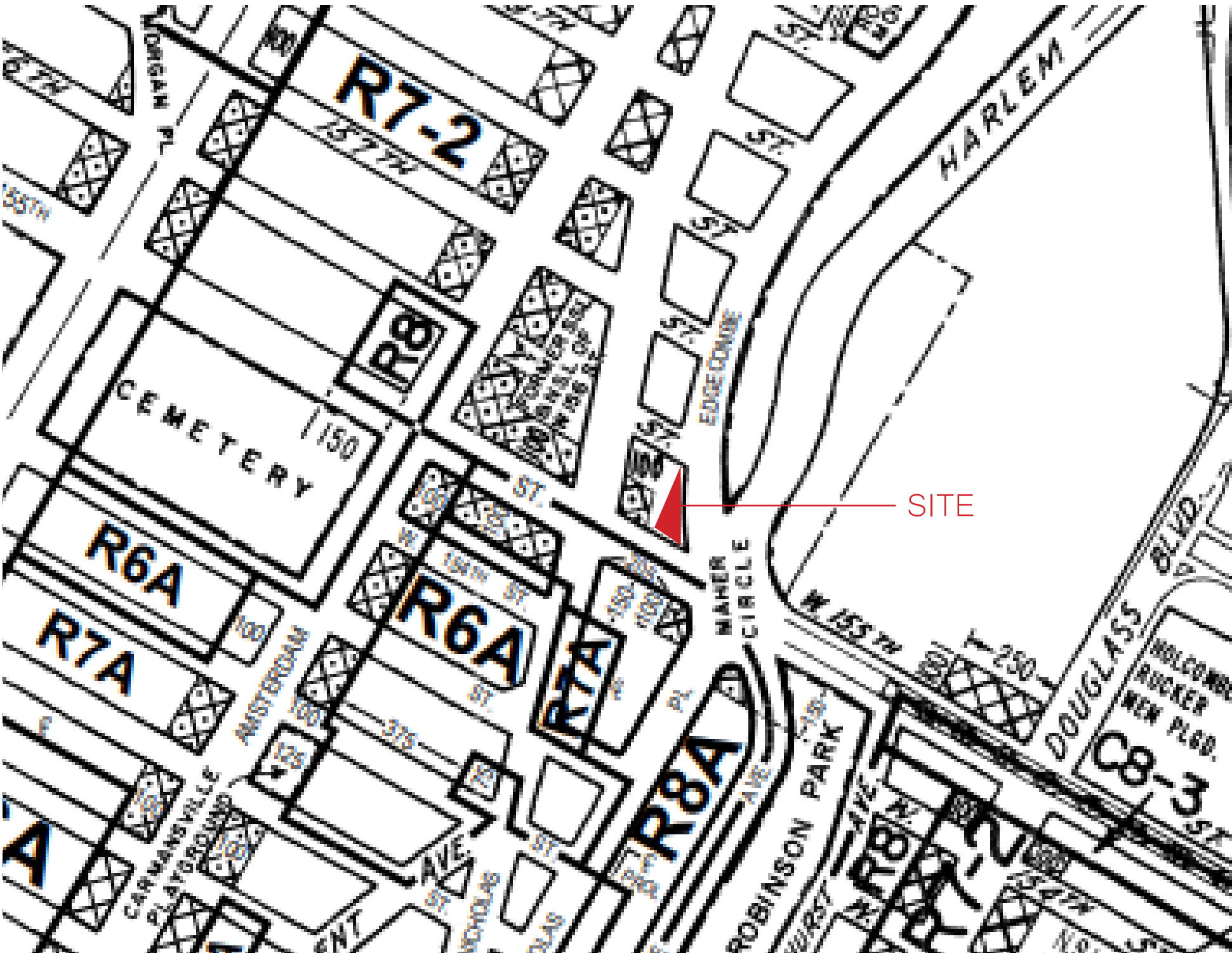
LOCATION: W 155 ST & EDGECOMB AVE, NY 10032
BLOCK: 2107
LOT: 1
DIMENSIONS: 133.35' X 266.25'
LOT AREA: 15,346SF
OF BUILDINGS: 0
YEAR BUILT: N/A
COMMUNITY DISTRICT:
ZONING DISTRICT:
COMMERCIAL OVERLAY:
FLOOR AREA RATIO: 2
LOT COVERAGE: 80%
MAX HEIGHT: 36'
ZONING MAP:
BUILDING OCCUPANCY GROUP:

PROPOSED

BASEMENT: 4230 SF
FIRST FLOOR: 4260 SF
SECOND FLOOR: 6466 SF
THIRD FLOOR: 5424 SF

TOTAL: 20,380 SF

ZONING MAP

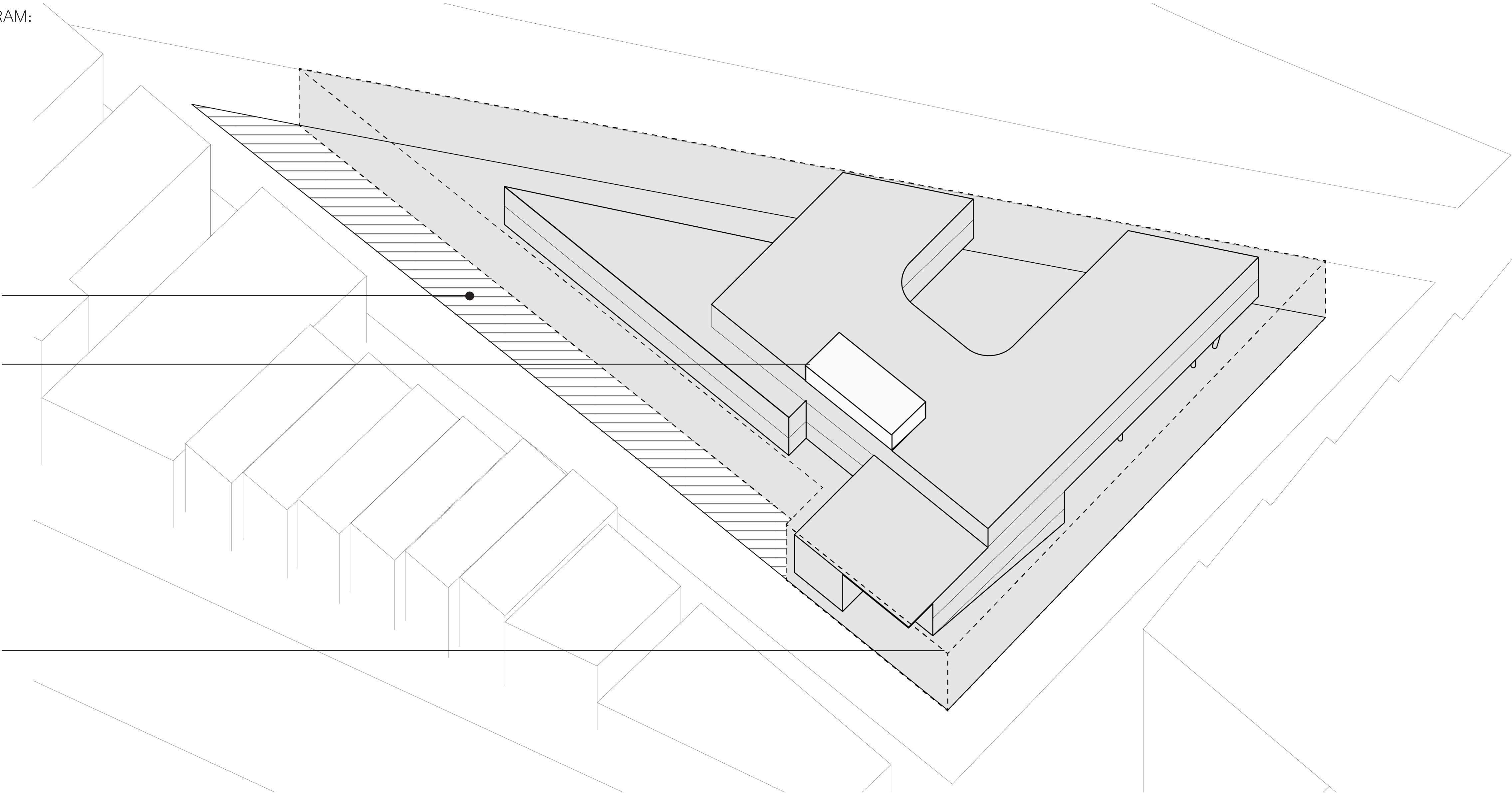


ZONING MASSING DIAGRAM:

COVERAGE: 80%

BULKHEAD HEIGHT: 48'

MAX HEIGHT: 36'



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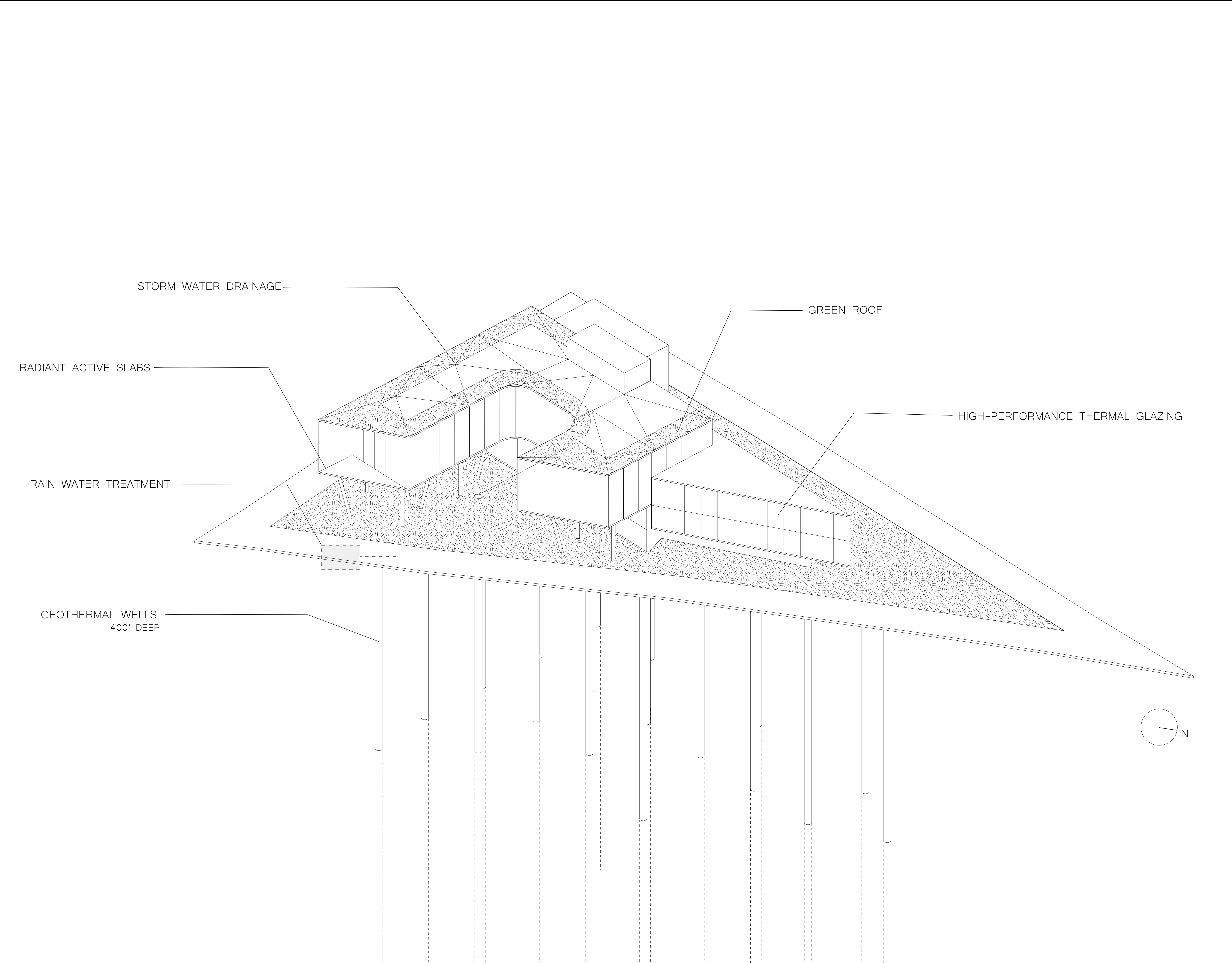
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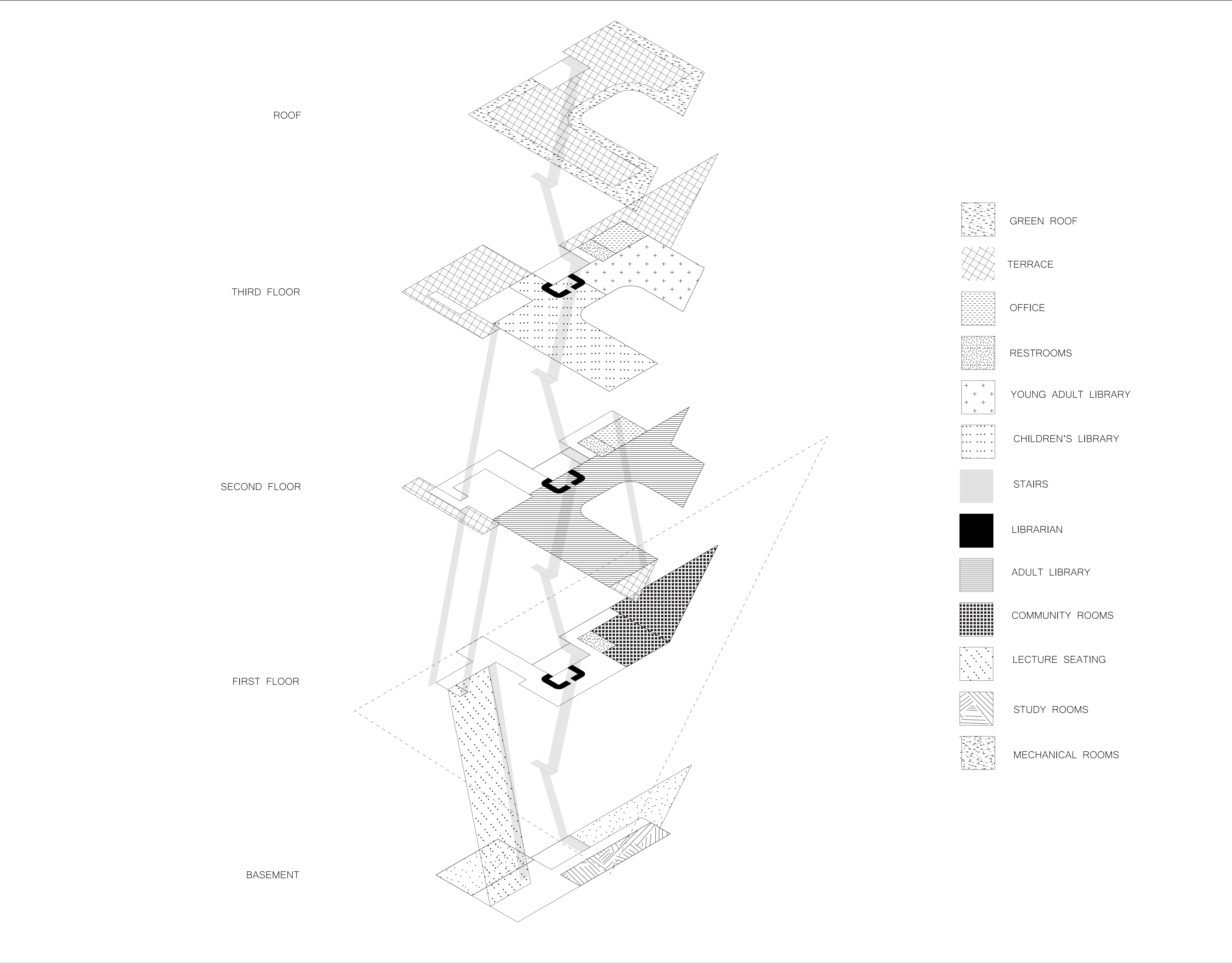


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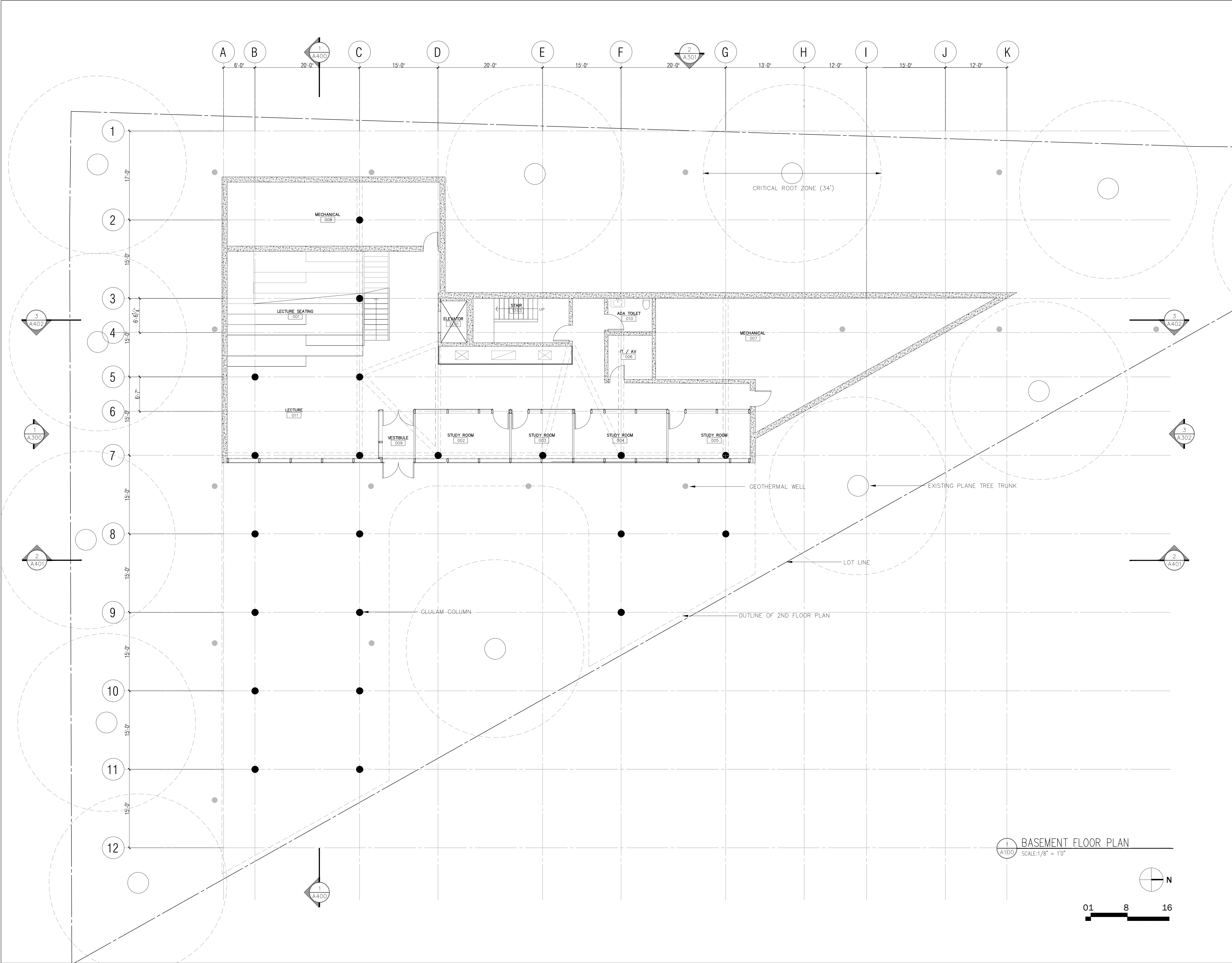
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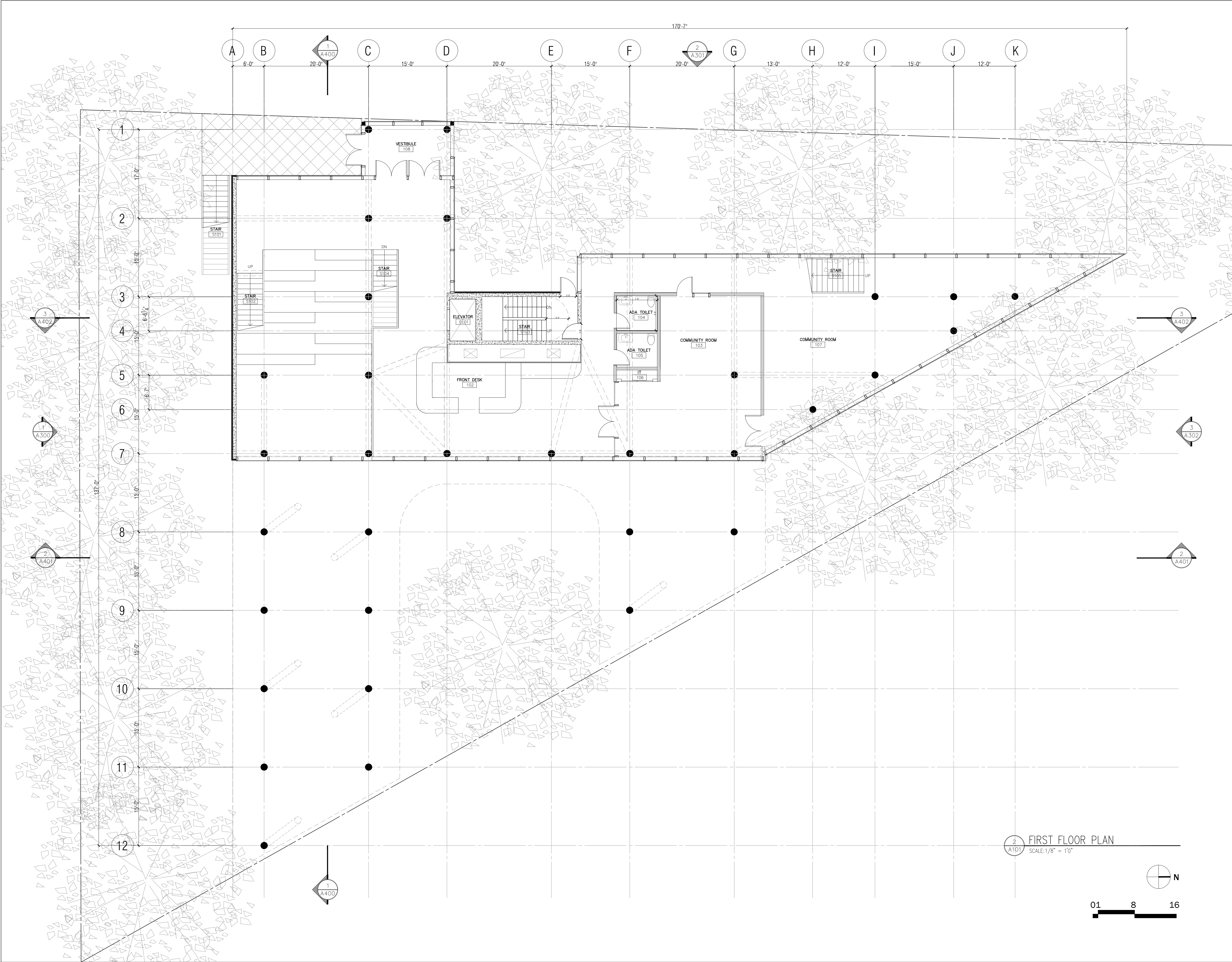
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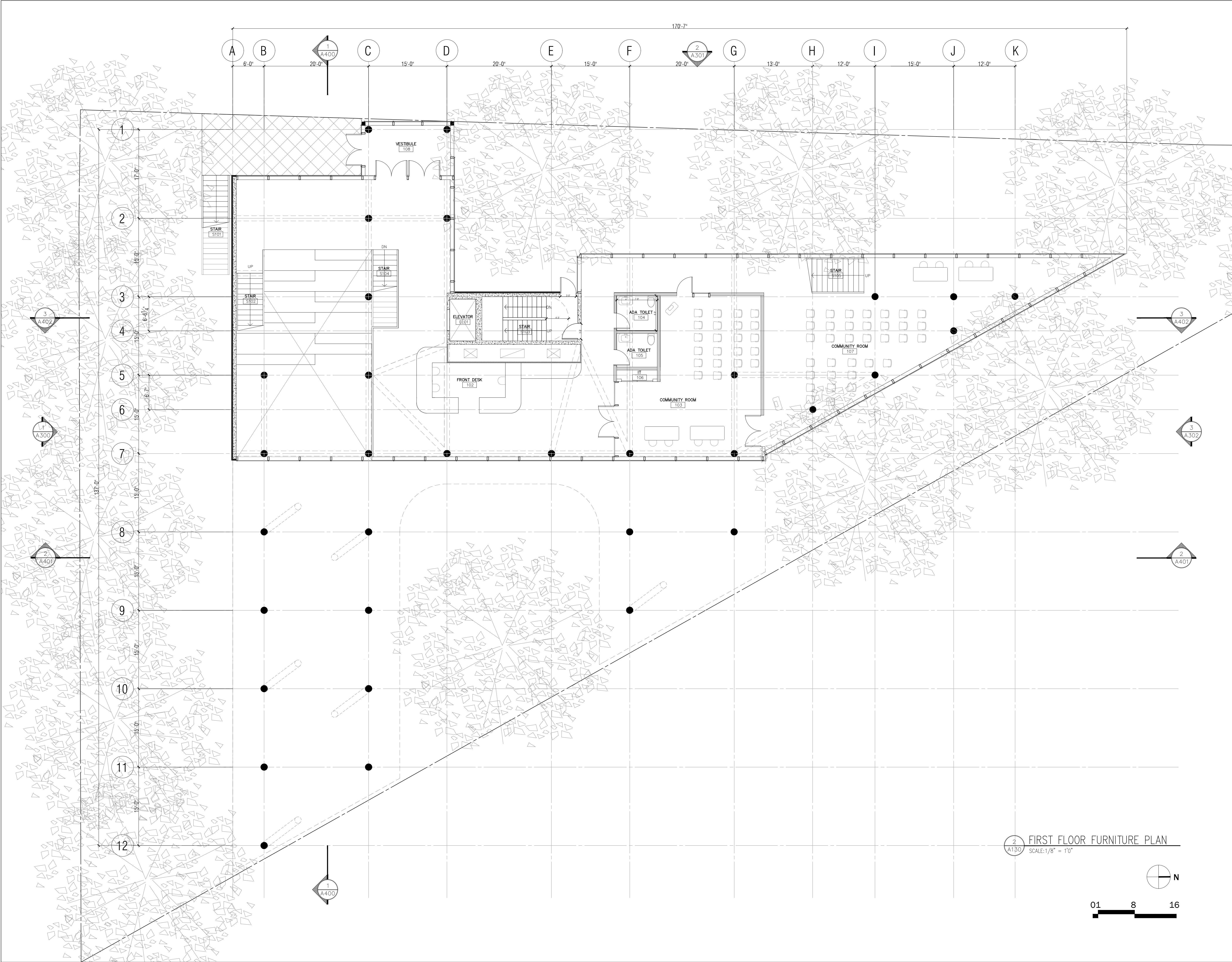


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DRAWING TITLE:
FIRST FLOOR PLAN

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
	DRAWN:
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	DRAWING:
A-101.00	
SHEET:	XY OF XYZ



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DRAWING TITLE:
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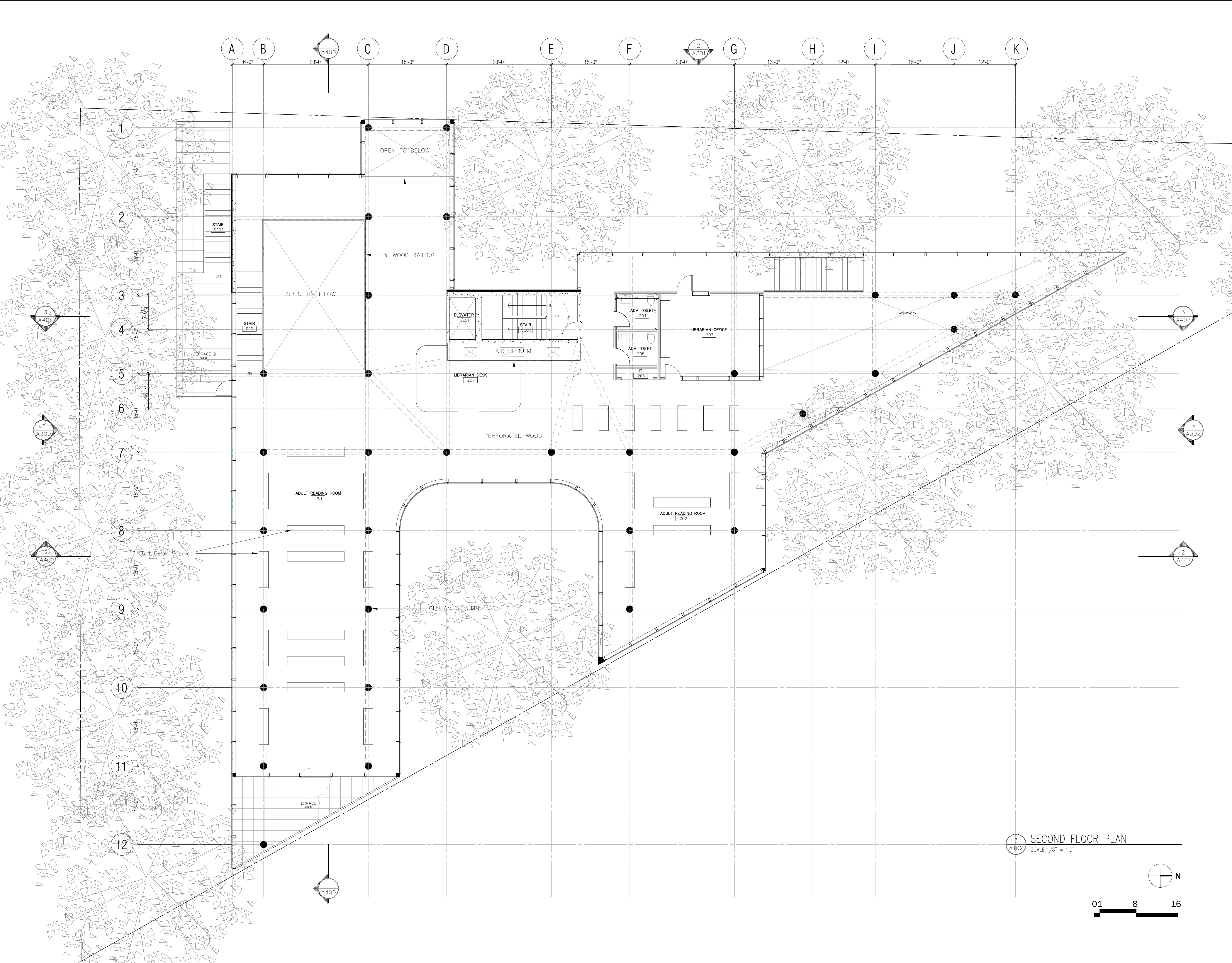
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SHEET: XY OF XYZ

2
A130

FIRST FLOOR FURNITURE PLAN
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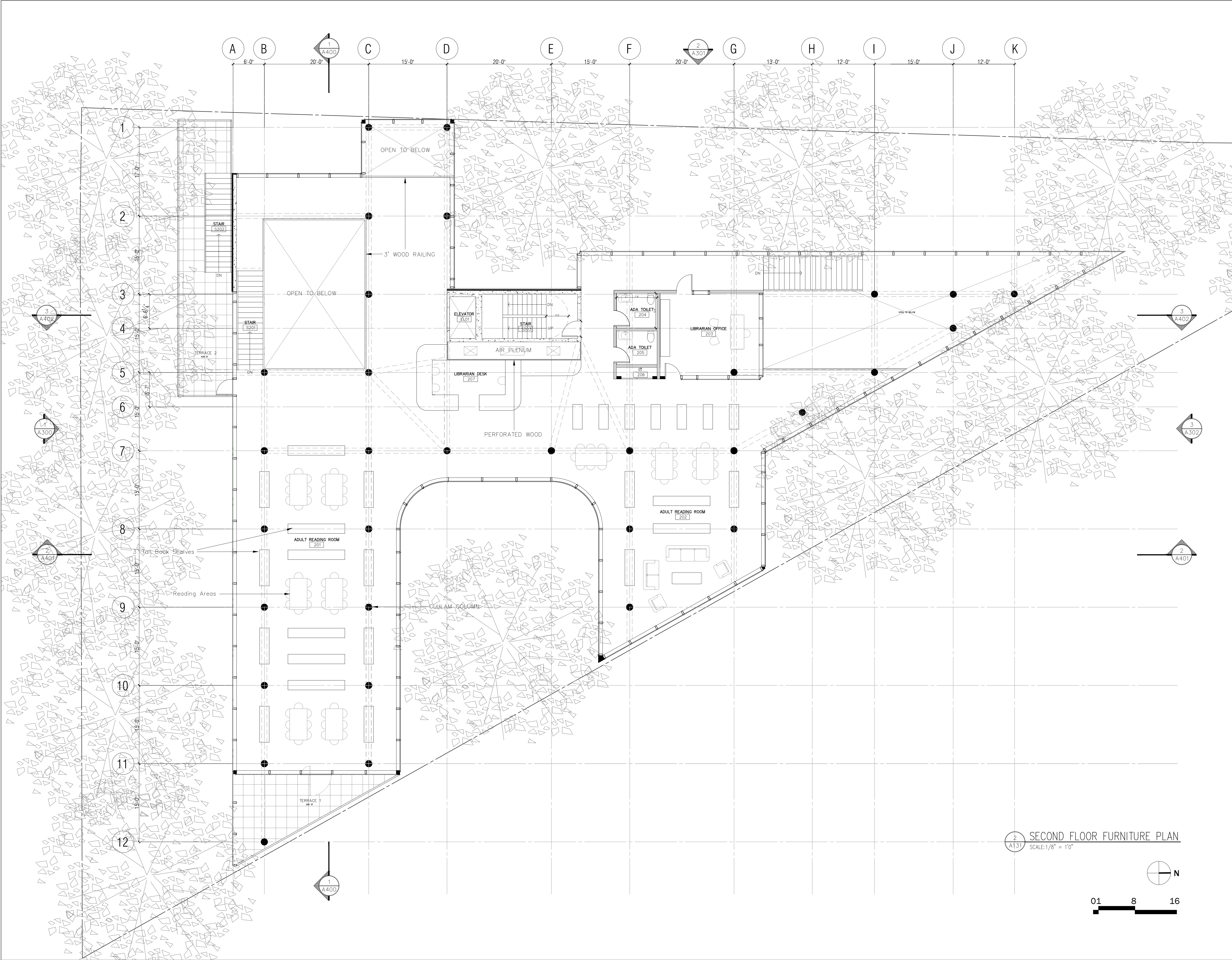


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SECOND FLOOR PLAN

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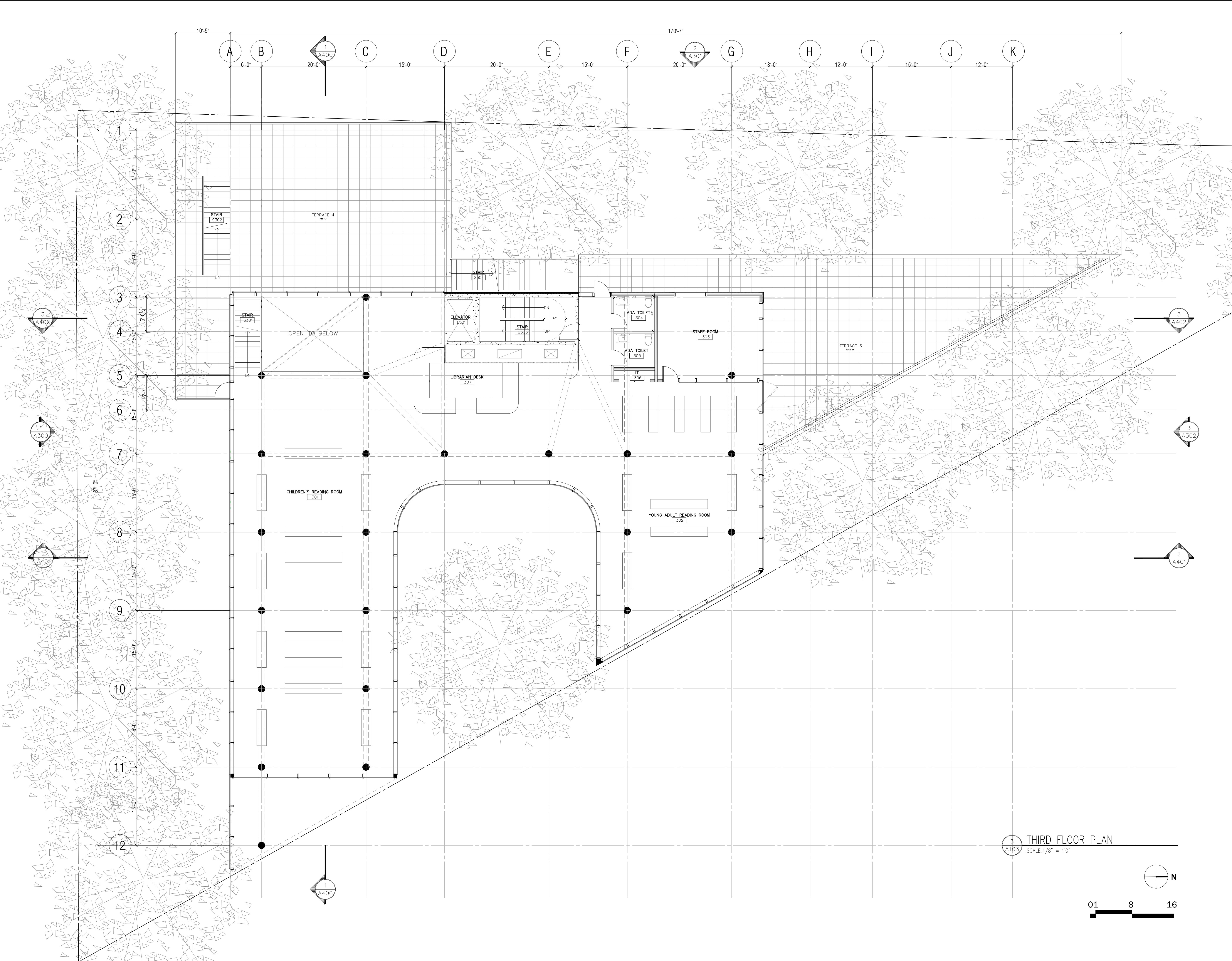


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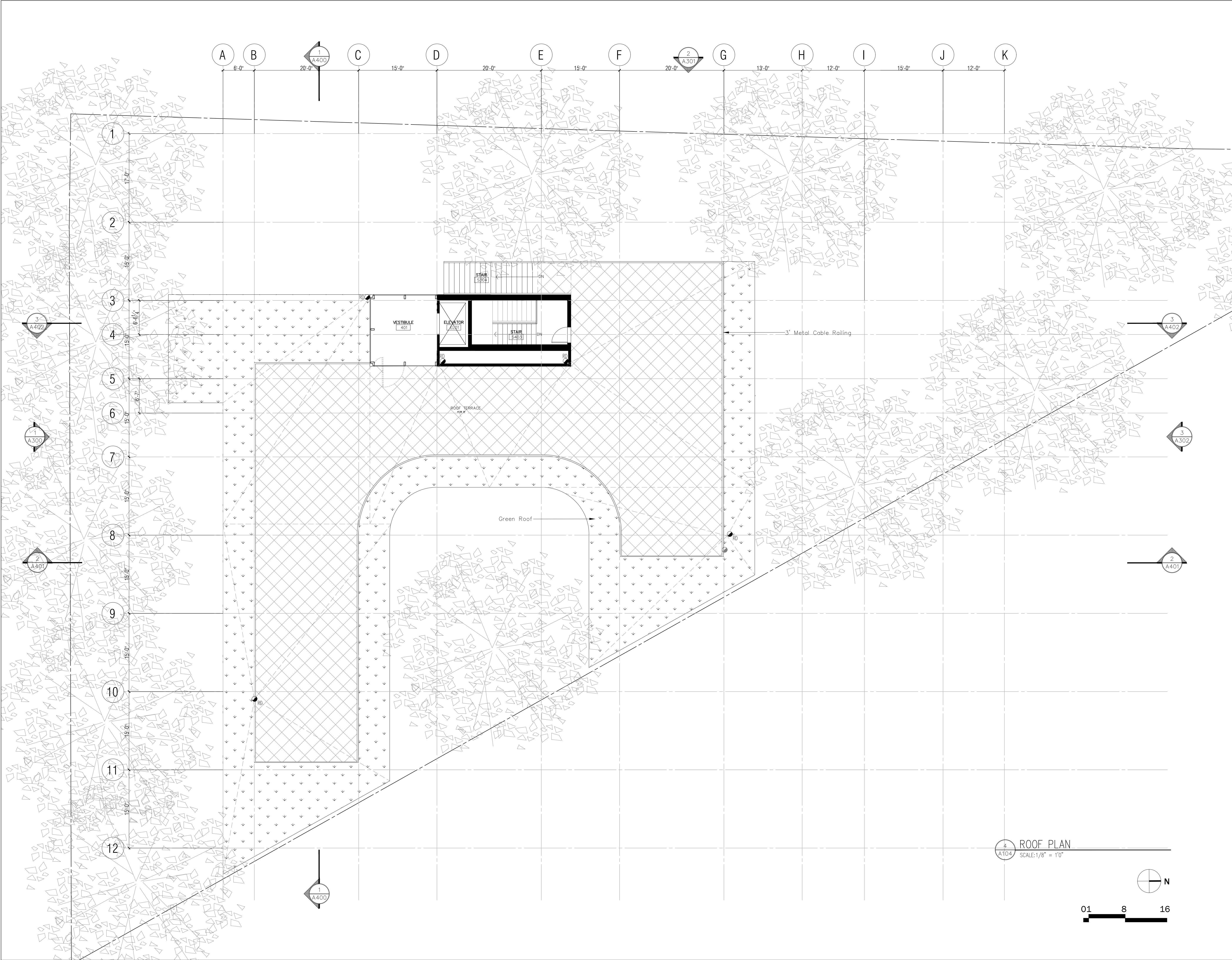


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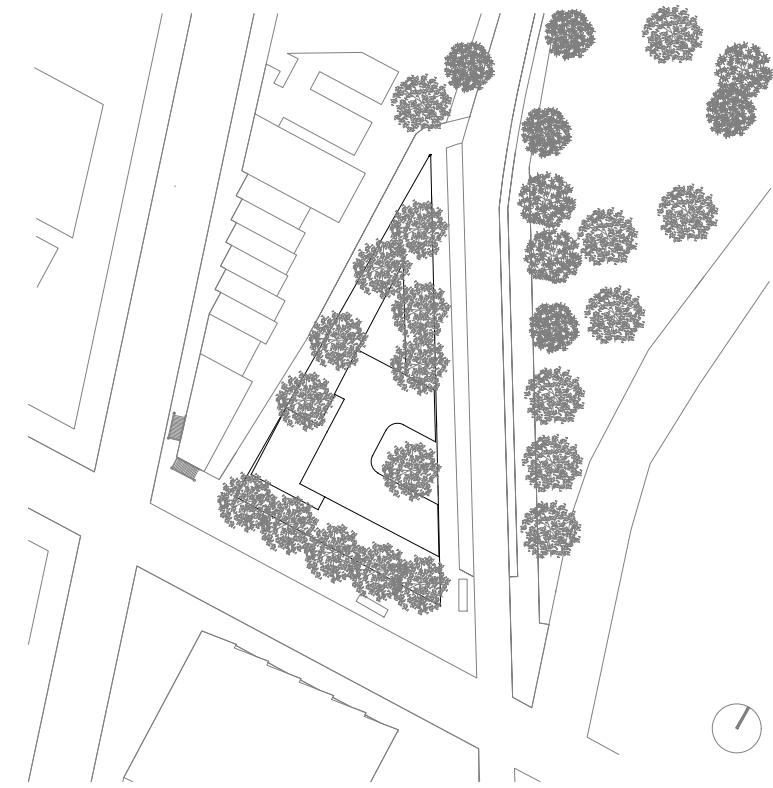
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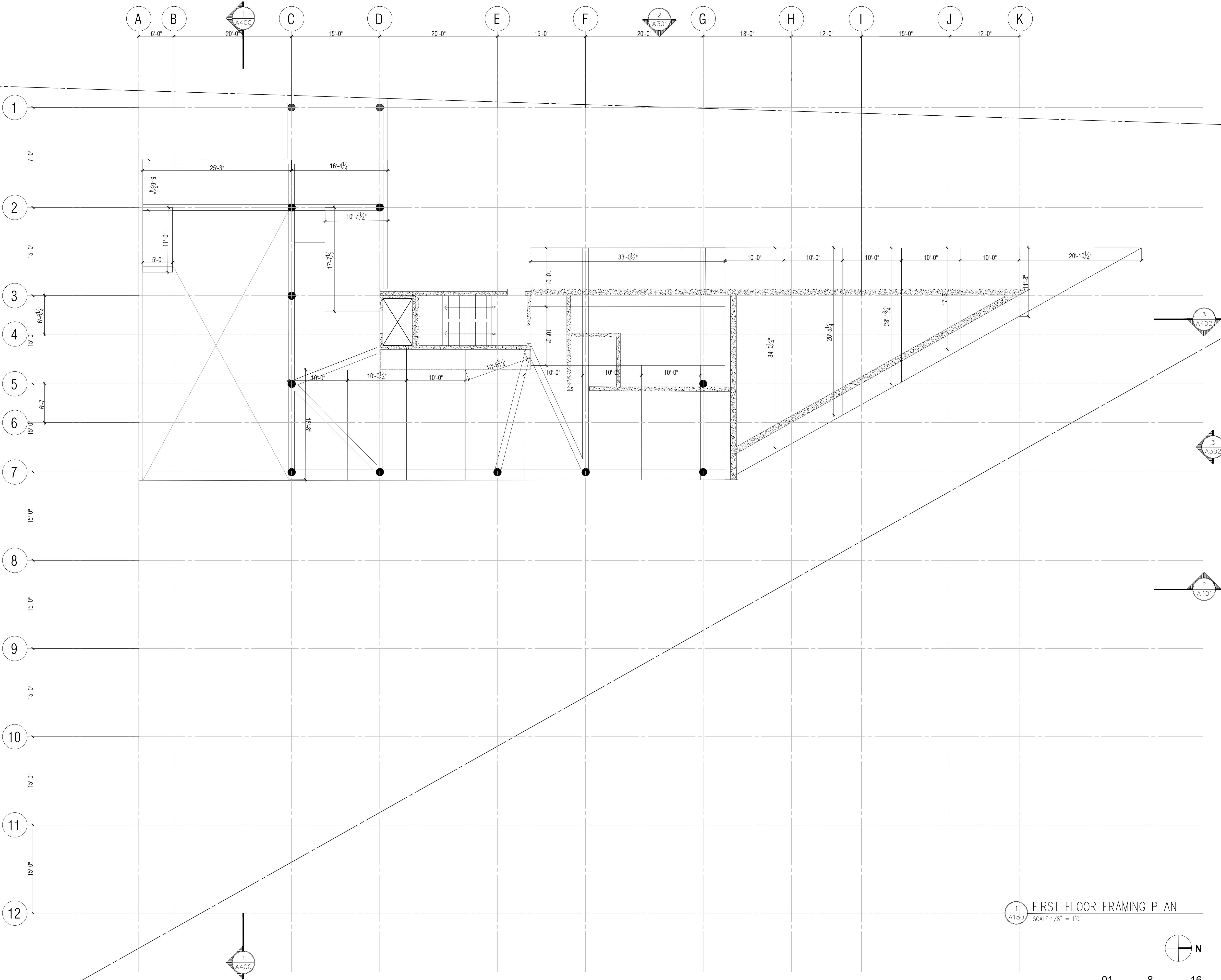
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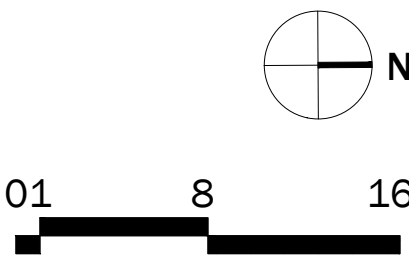
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1 FIRST FLOOR FRAMING PLAN
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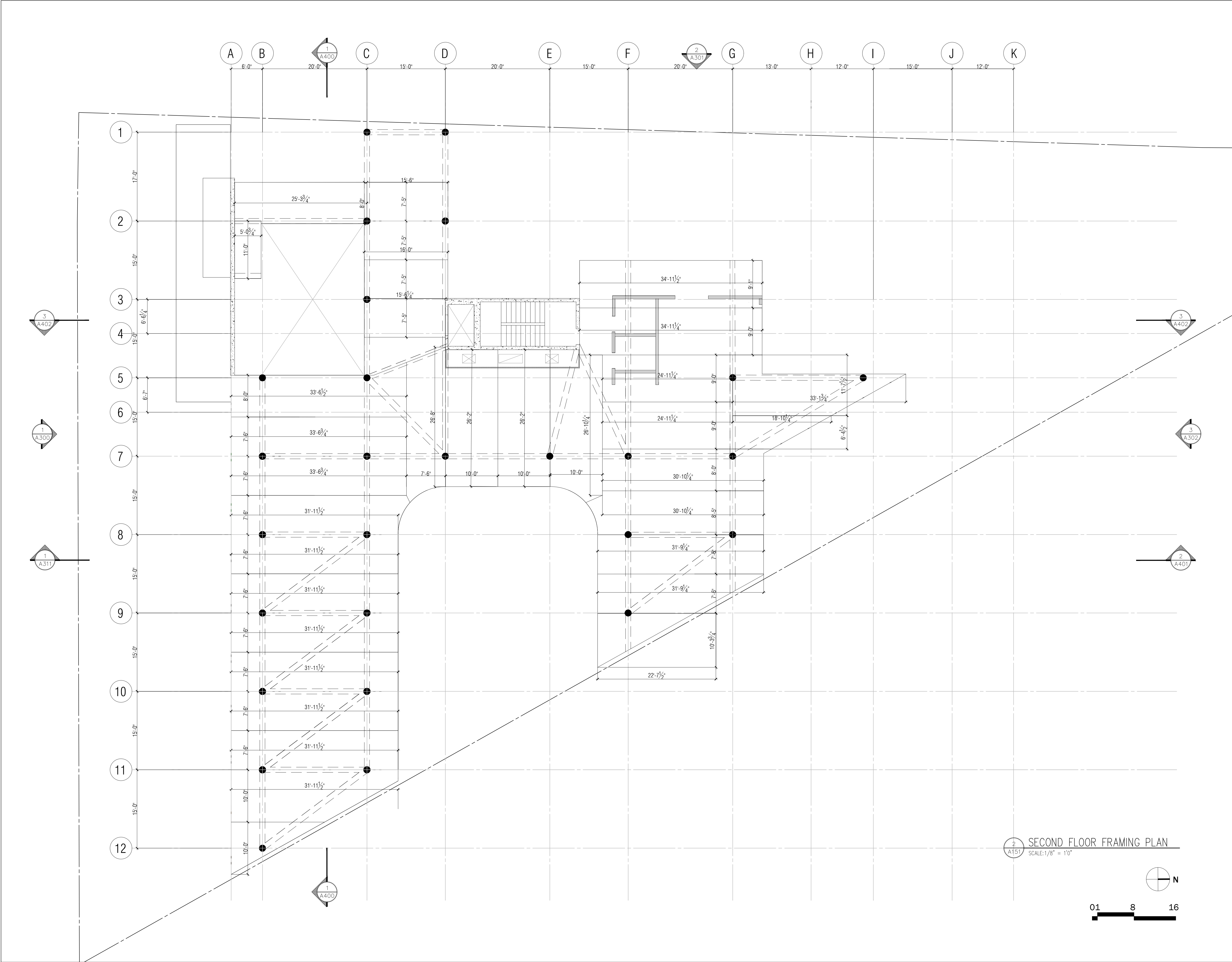
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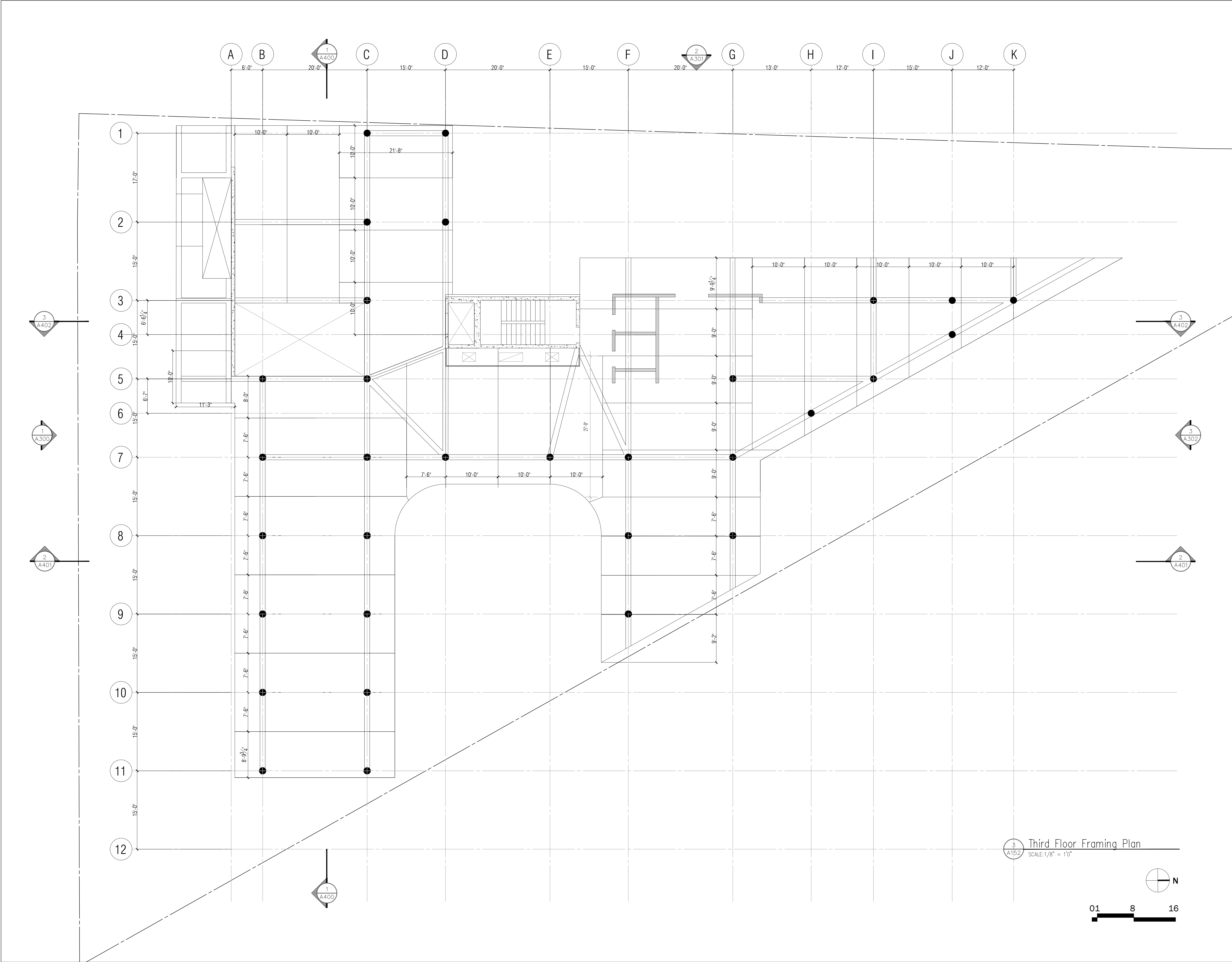
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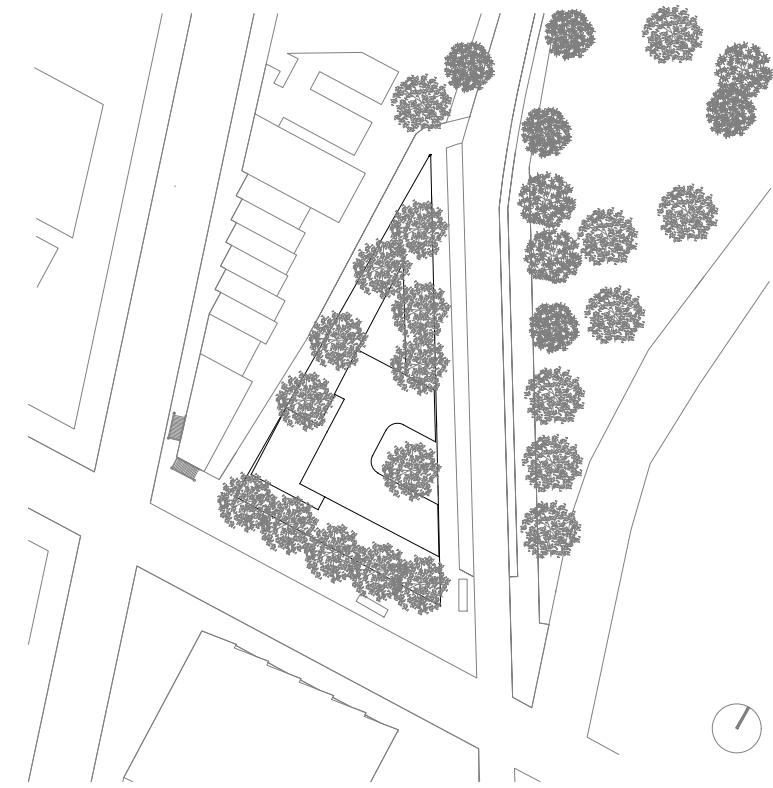
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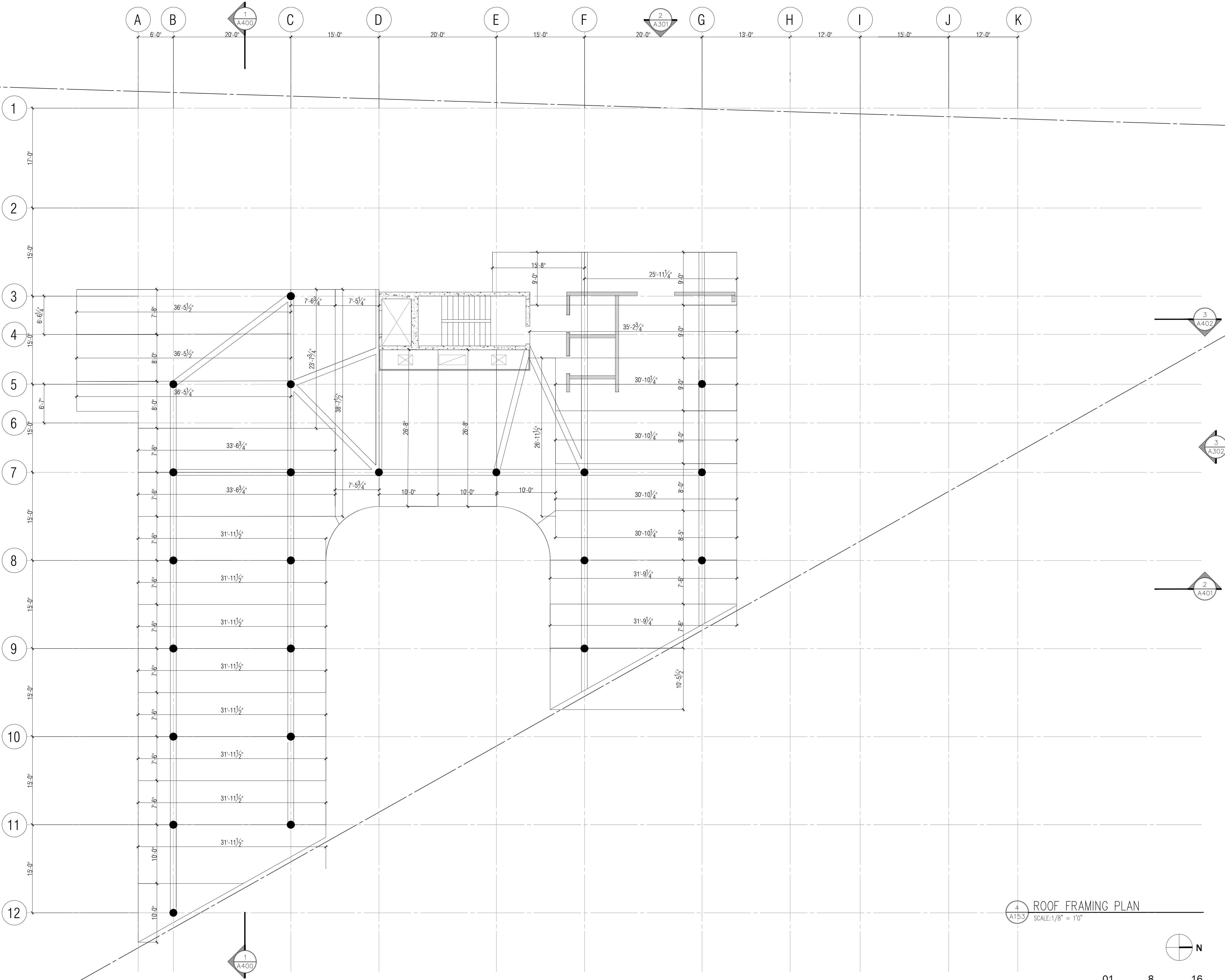
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ROOF FRAMING PLAN

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	SCALE: 1/8" = 1'-0"
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ROOF FRAMING PLAN
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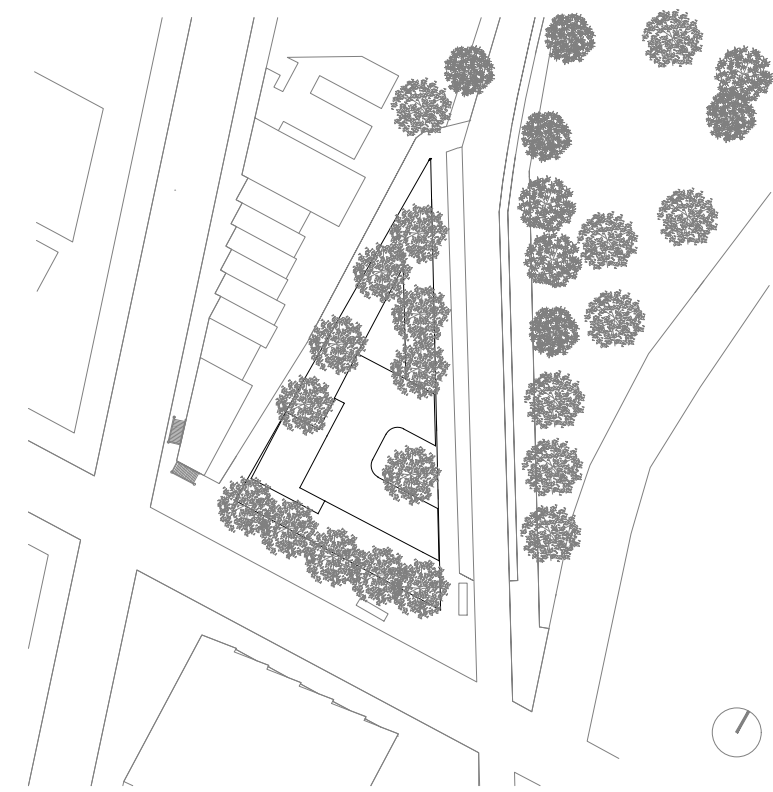
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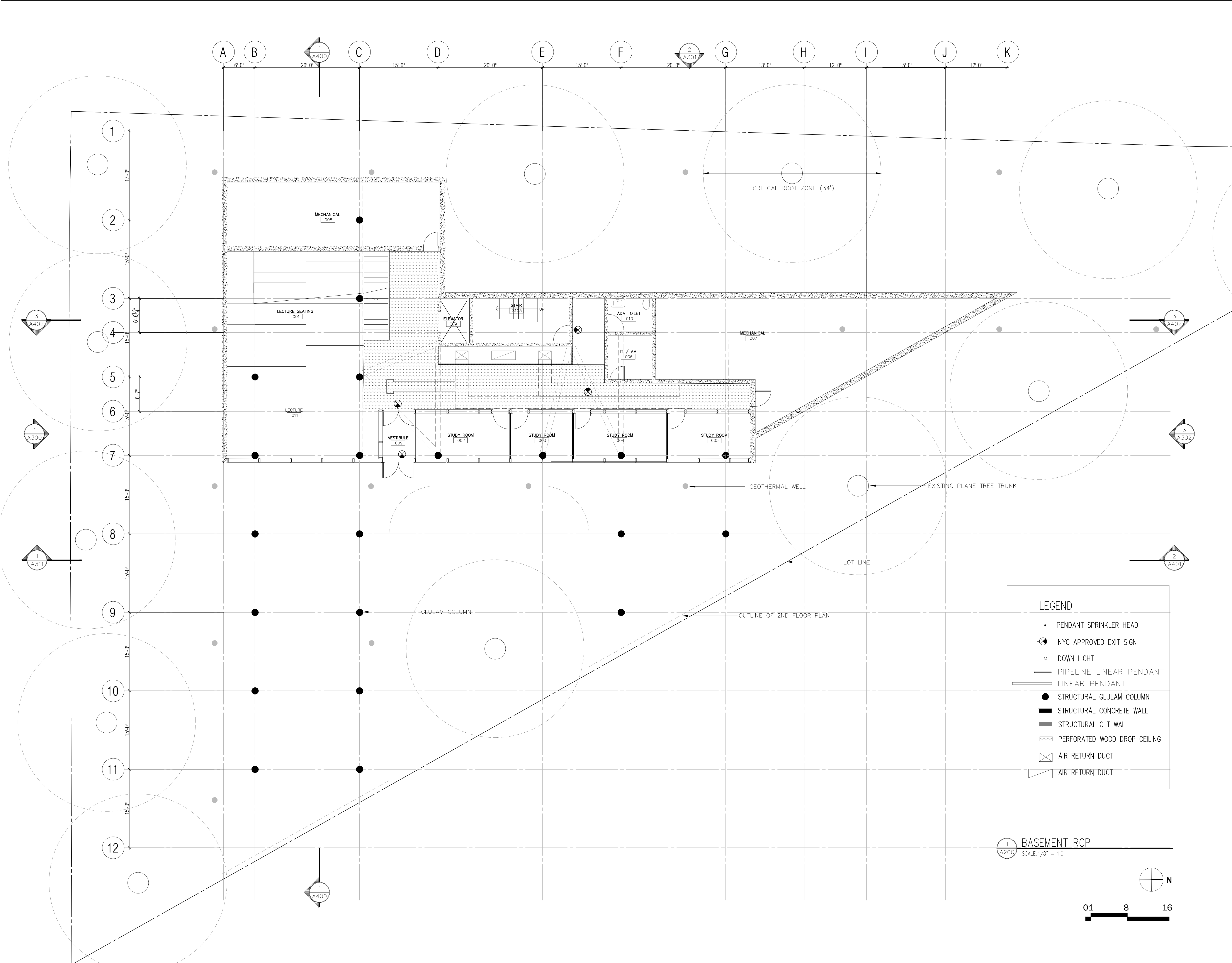
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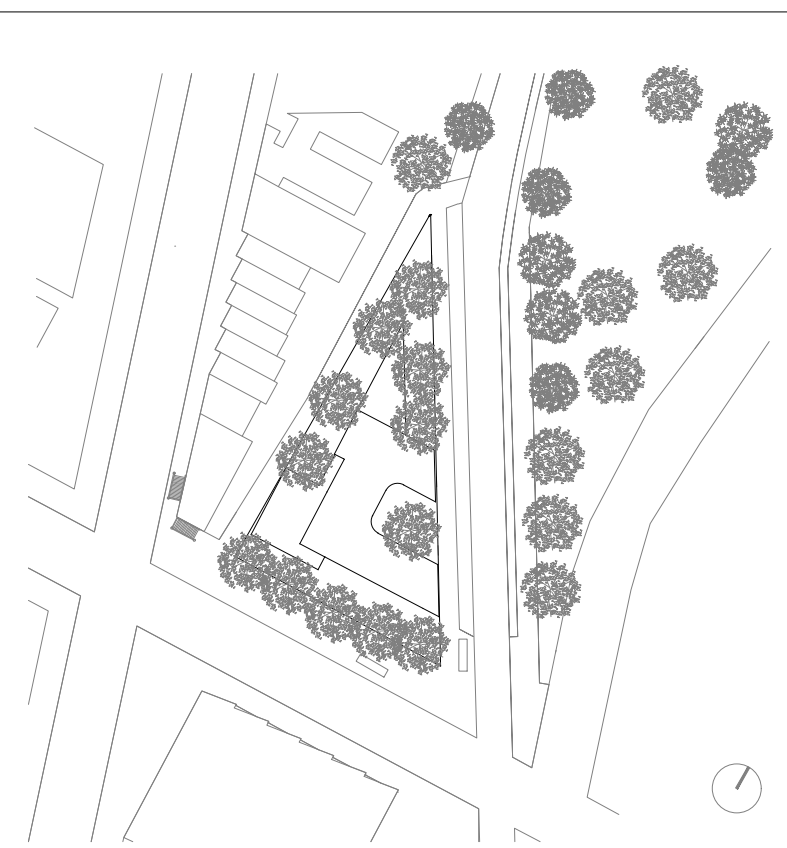
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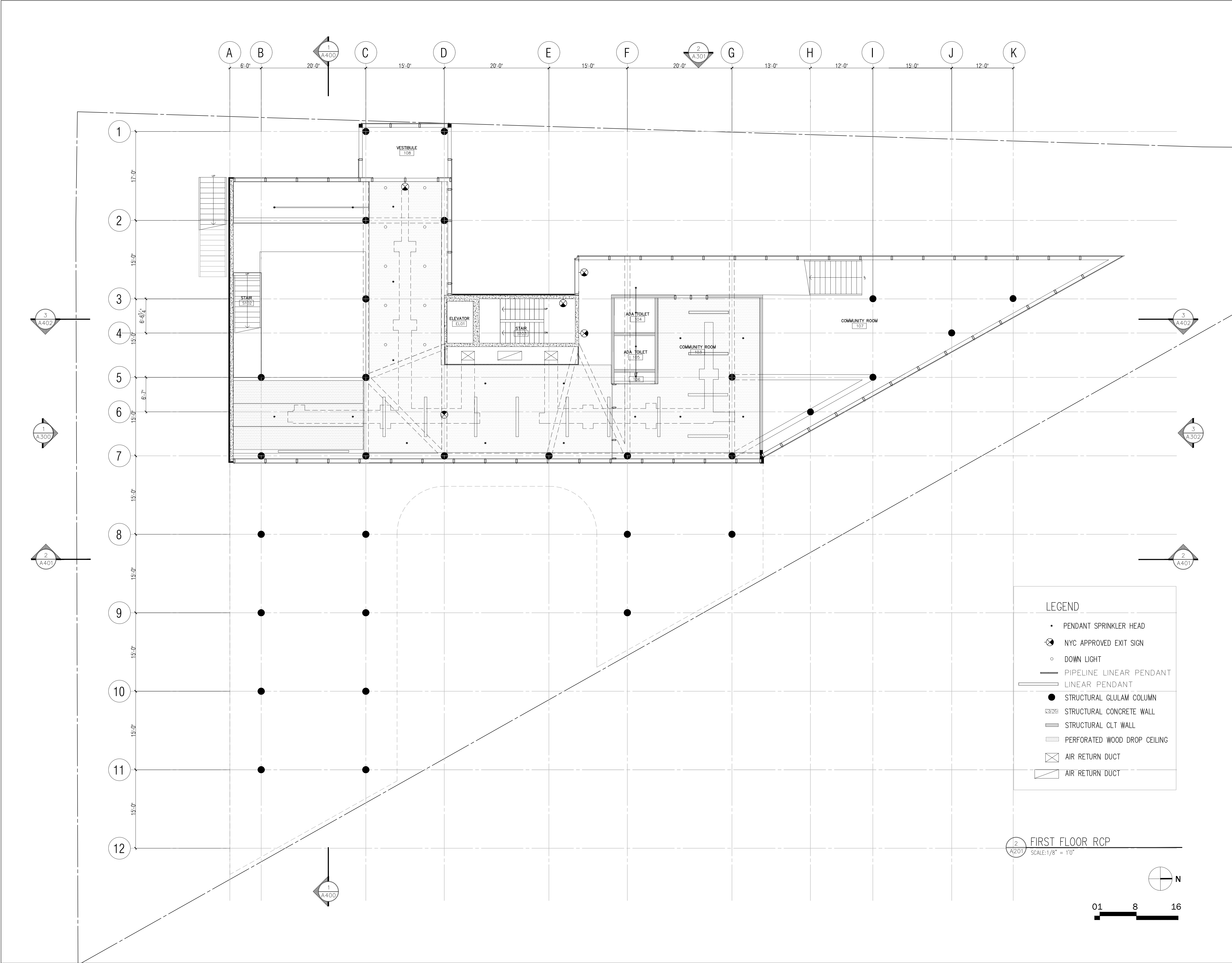
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FIRST FLOOR RCP

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
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A-201.00	
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LEGEND

PENDANT SPRINKLER HEAD

NYC APPROVED EXIT SIGN

DOWN LIGHT

PIPELINE LINEAR PENDANT

LINEAR PENDANT

STRUCTURAL GLULAM COLUMN

STRUCTURAL CONCRETE WALL

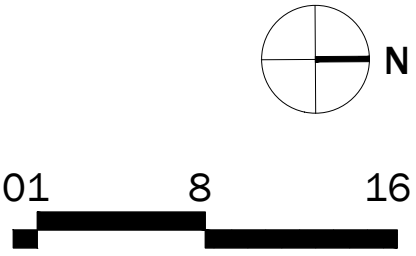
STRUCTURAL CLT WALL

PERFORATED WOOD DROP CEILING

AIR RETURN DUCT

AIR RETURN DUCT

2 FIRST FLOOR RCP
A201 SCALE: 1/8" = 1'-0"



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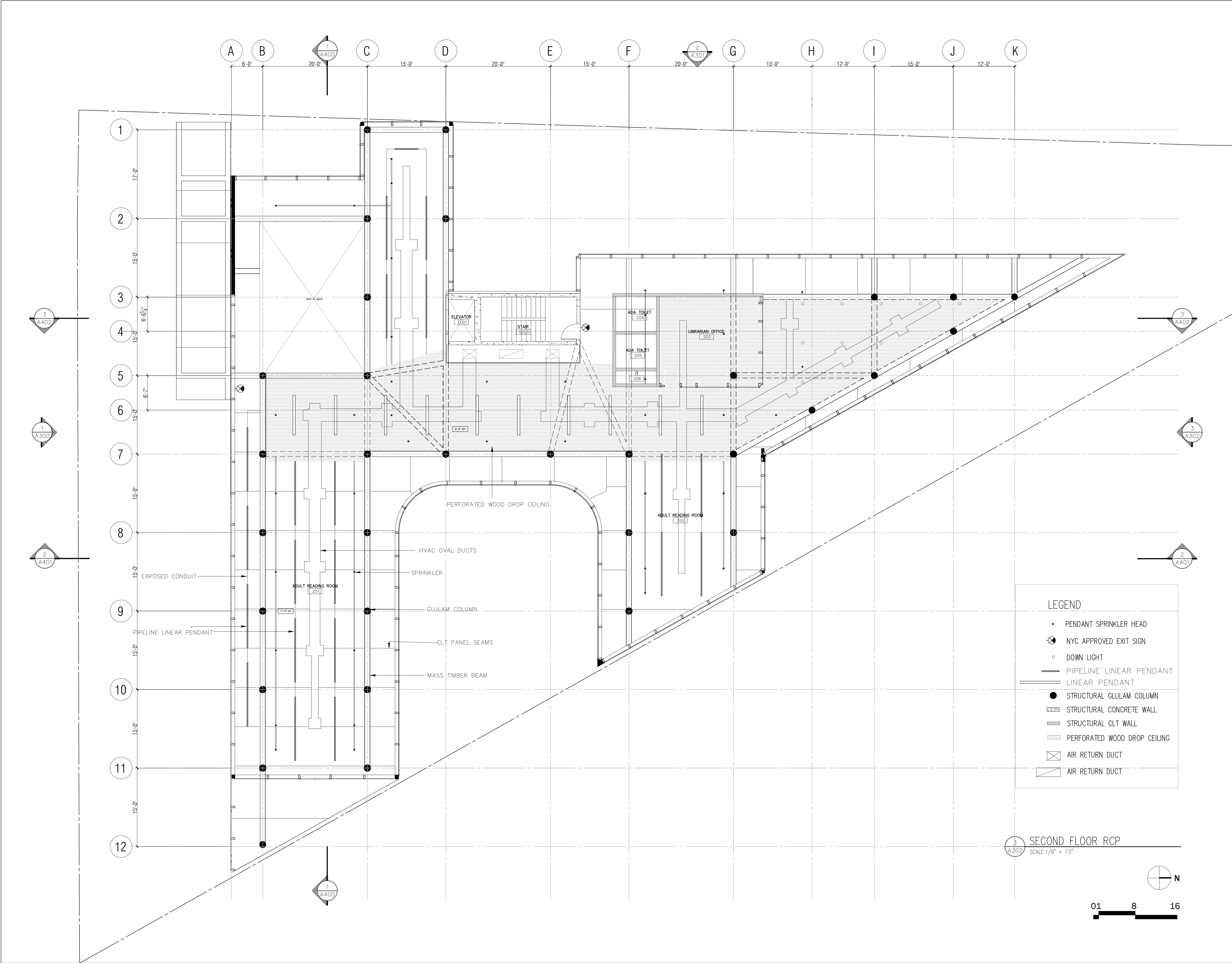
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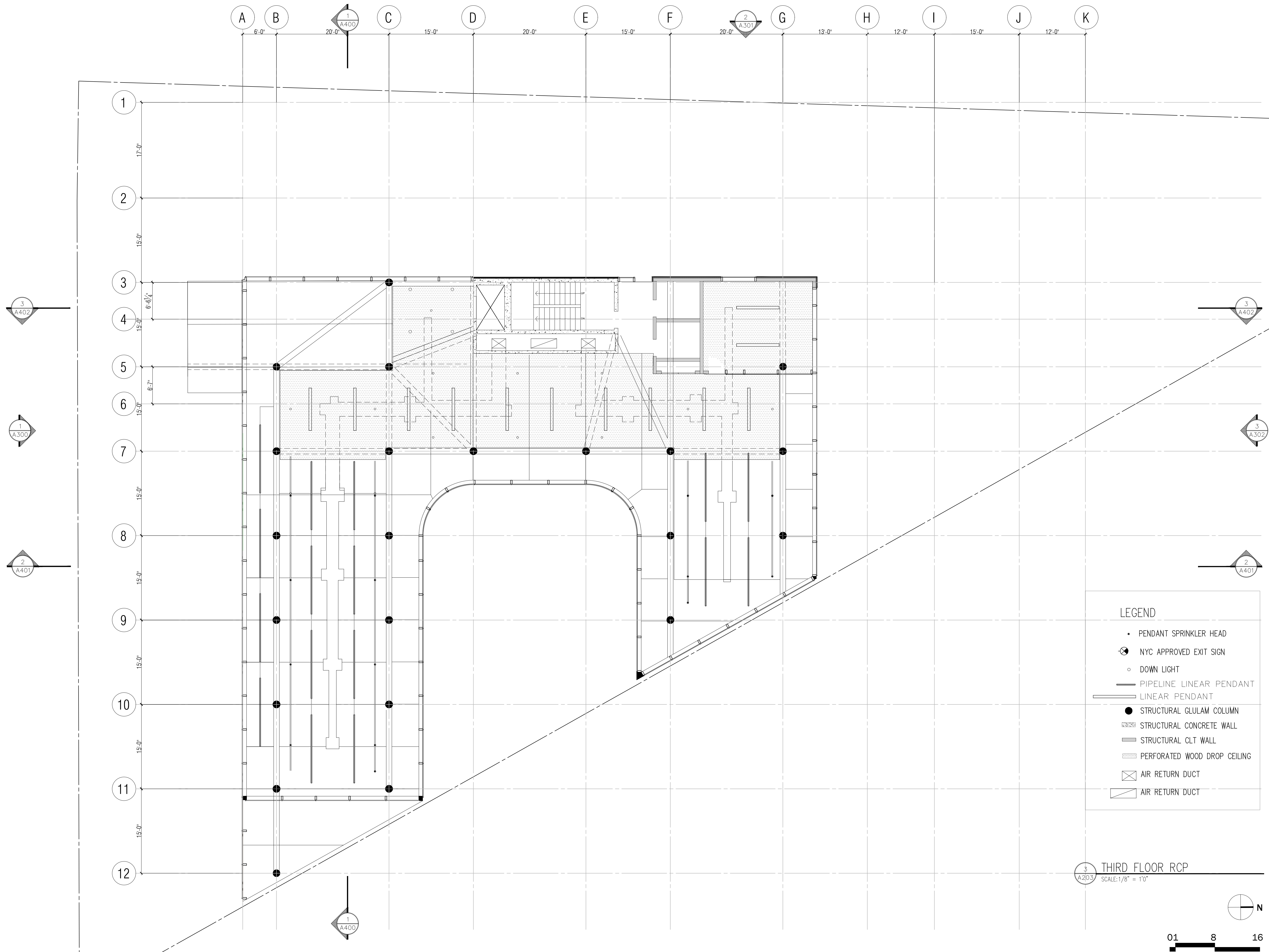
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25 EAST 13TH STREET, E200
NEW YORK, NEW YORK 10003

DOB STAMPS AND SIGNATURES

DOB BSCAN STICKER



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476 5TH AVENUE
NEW YORK, NY 10018

PROJECT:
LUMINARIES LAWN LIBRARY

W 155TH ST & EDGEcombe AVE
NEW YORK, NY 10032

DRAWING TITLE:

Elevation: Looking North

SEAL:

DATE: _____

SCALE: $1/8" = 1'-0"$

DRAWN: AB

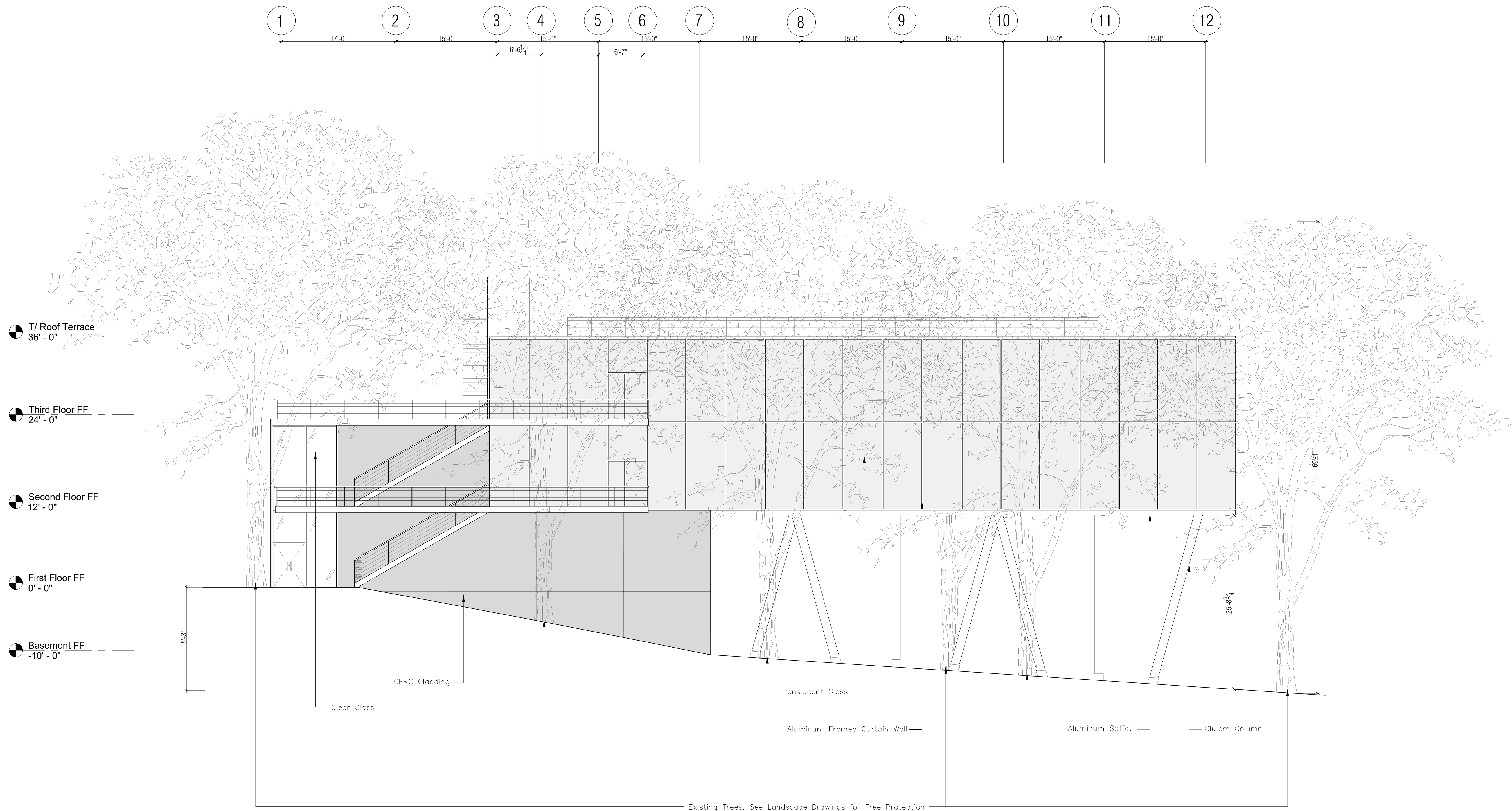
CHECKED:

DRAWING:

Abstract

A-300.00

SHEET: XY OF XYZ



1 Elevation: Looking North
A300 SCALE: 1/8" = 1'0"

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NEW YORK, NEW YORK 10003

Nathaniel Jones
MEP/FP ENGINEERS / LIGHTING
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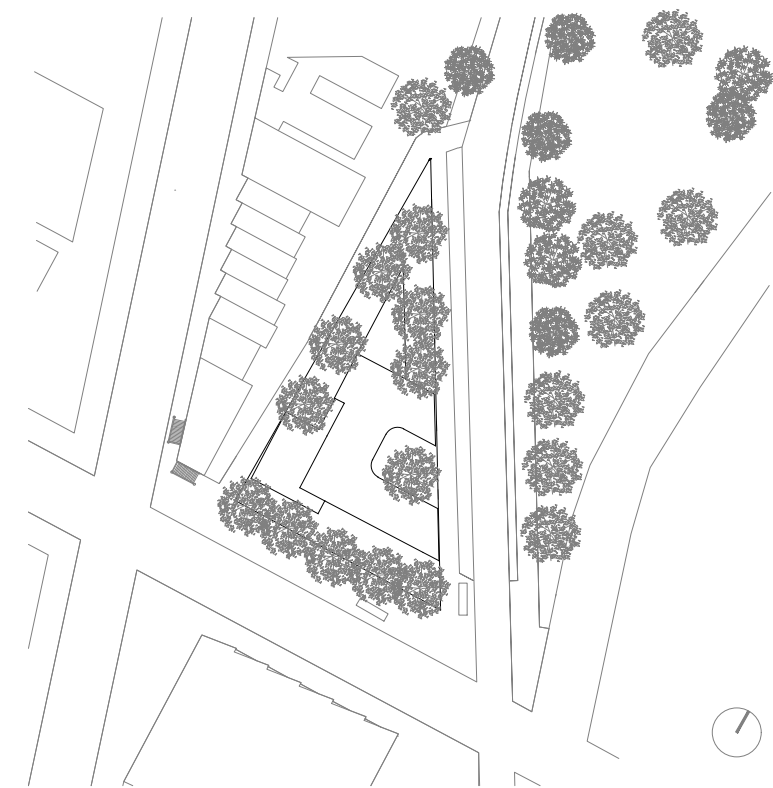
Nathaniel Jones
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Chris Pollock
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DOB STAMPS AND SIGNATURES

DOB BSCAN STICKER

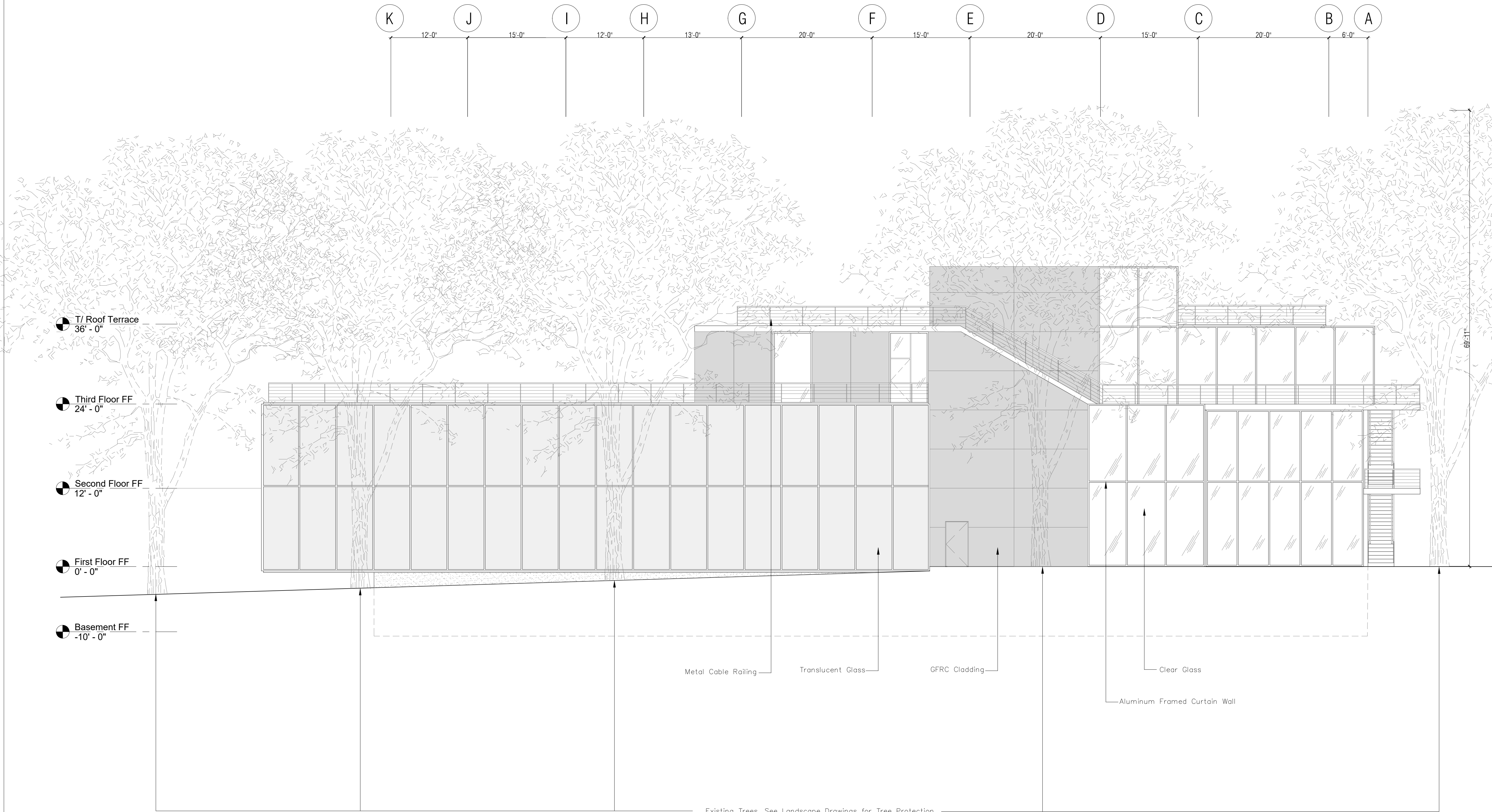


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DRAWING TITLE:
Elevation: Looking East

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
	DRAWN: AB
	CHECKED:
	DRAWING:
A-301.00	
SHEET:	XY OF XYZ



2
A301 Elevation: Looking East
SCALE: 1/8" = 1'-0"

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DOB STAMPS AND SIGNATURES

DOB BSCAN STICKER



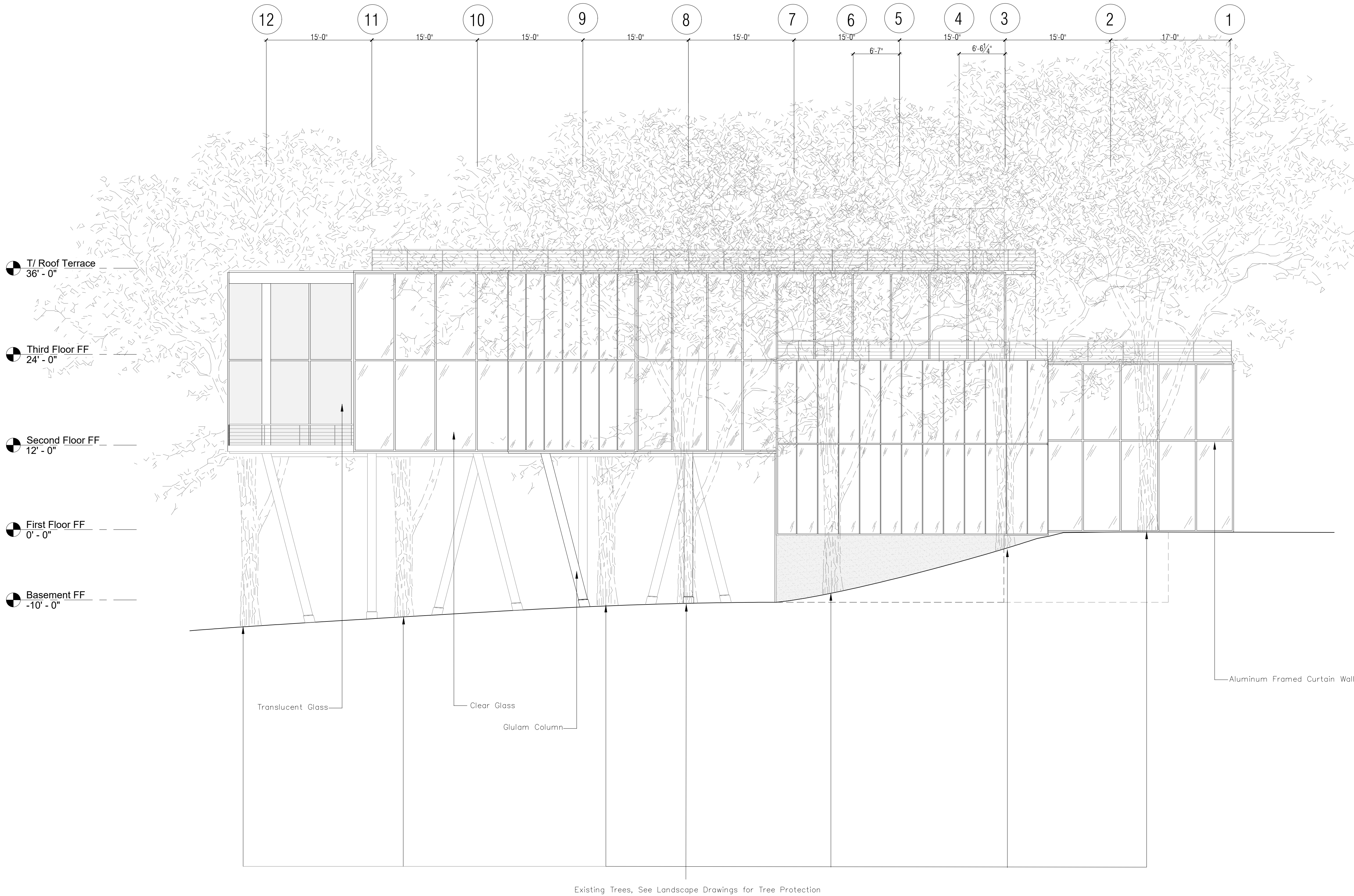
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PROJECT:
LUMINARIES LAWN LIBRARY

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DRAWING TITLE:
Elevation: Looking South

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
	DRAWN: AB
	CHECKED:
	DRAWING:
A-302.00	
SHEET:	XY OF XYZ



1 Elevation: Looking South
A302 SCALE: 1/8" = 1'-0"

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DOB STAMPS AND SIGNATURES



DOB BSCAN STICKER



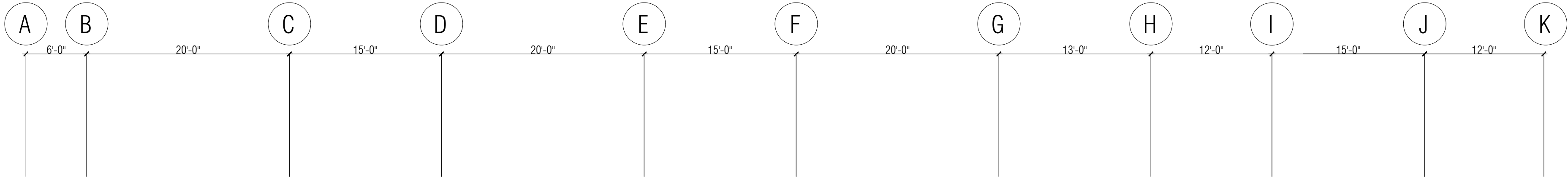
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NEW YORK PUBLIC LIBRARY
476 5TH AVENUE
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PROJECT:
LUMINARIES LAWN LIBRARY

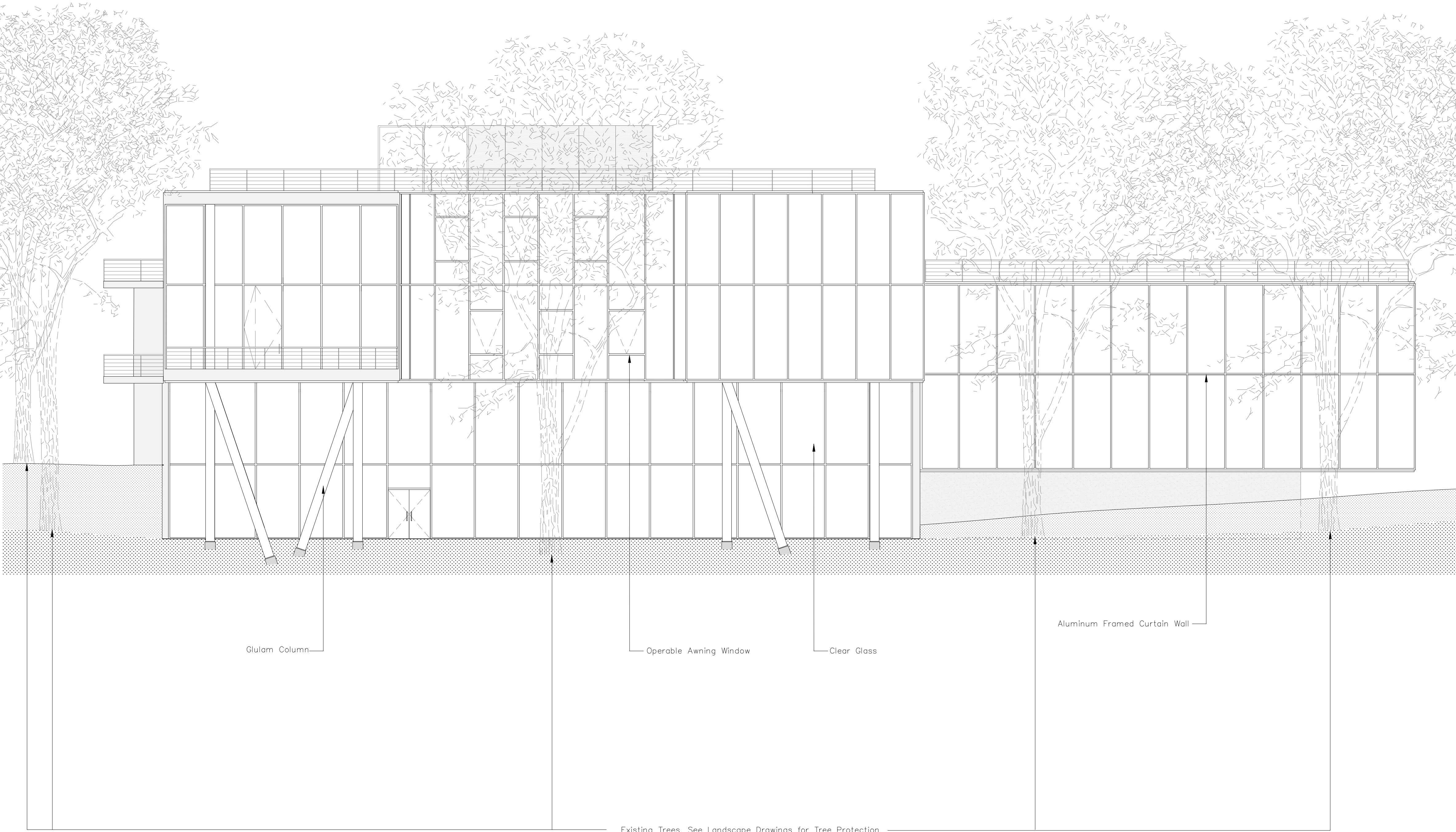
W 155TH ST & EDGECOMBE AVE
NEW YORK, NY 10032

DRAWING TITLE:
Elevation: Looking West

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
	DRAWN: AB
	CHECKED:
	DRAWING:
A-303.00	
SHEET:	XY OF XYZ



- T/ Roof Terrace
36' - 0"
- Third Floor FF
24' - 0"
- Second Floor FF
12' - 0"
- First Floor FF
0' - 0"
- Basement FF
-10' - 0"



1 Elevation: Looking West
A303 SCALE: 1/8" = 1'-0"

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DOB STAMPS AND SIGNATURES



DOB SCAN STICKER



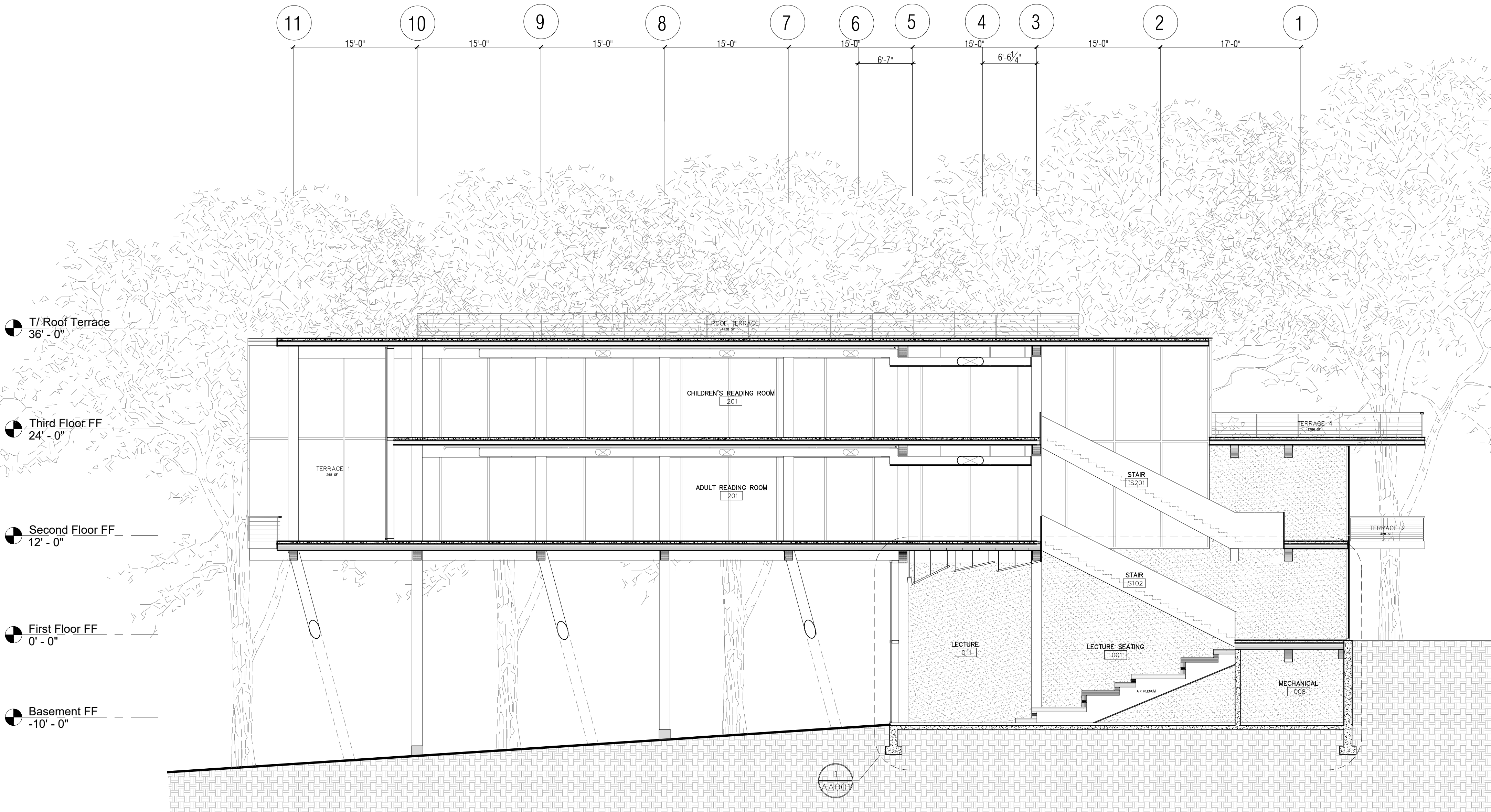
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DRAWING TITLE:
SECTION: LOOKING SOUTH

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
	DRAWN: AB
	CHECKED:
	DRAWING:
A-400.00	
SHEET:	XY OF XYZ



1 Building Section: Looking South
A400 SCALE: 1/8" = 1'-0"

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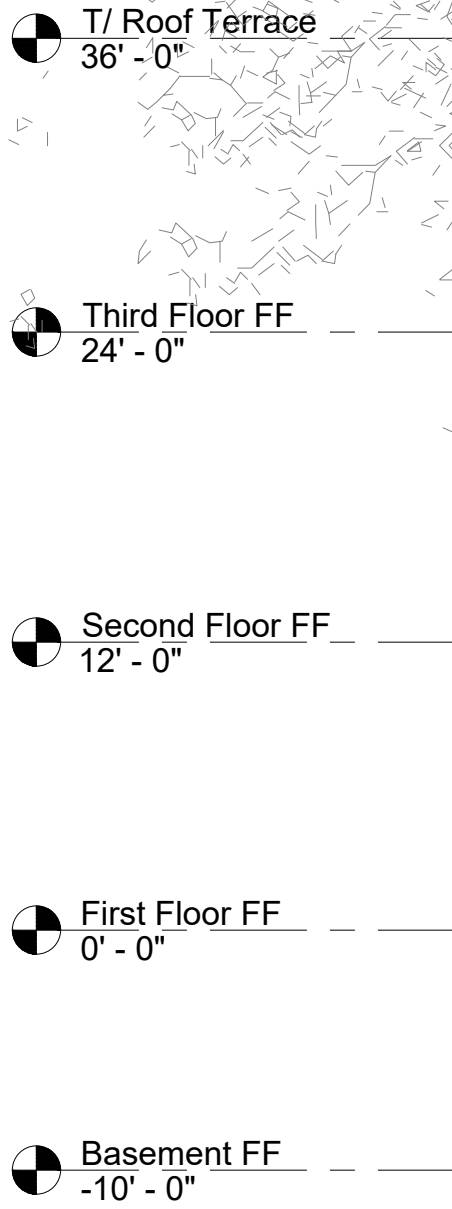
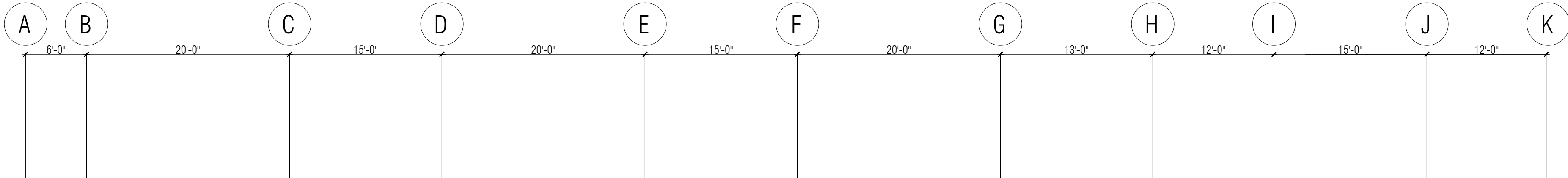
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DRAWING TITLE:
SECTION: LOOKING WEST

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
	DRAWN: AB
	CHECKED:
	DRAWING:
A-401.00	
SHEET:	XY OF XYZ



2 Building Section: Looking West
A-401 SCALE:1/8" = 1'-0"

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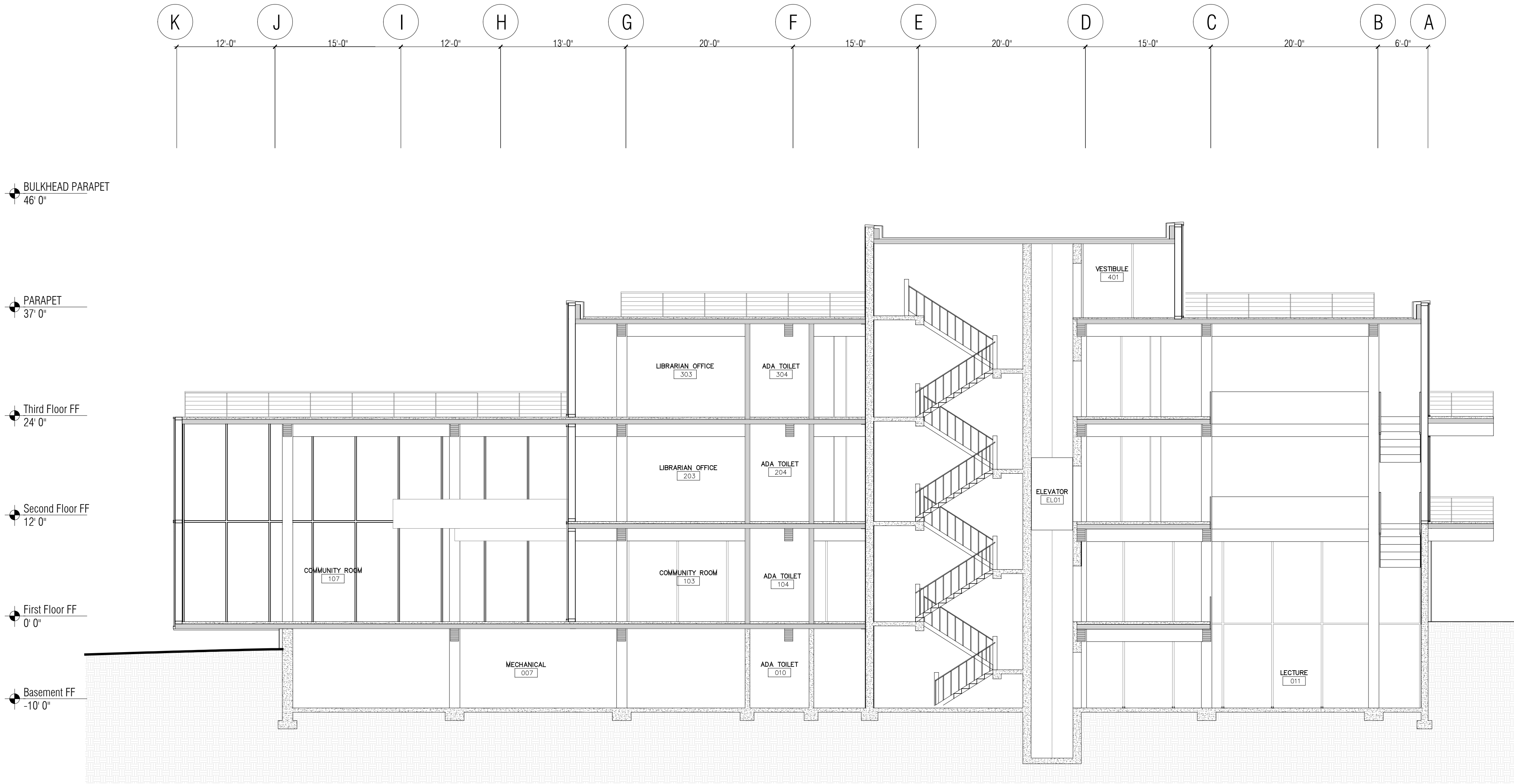


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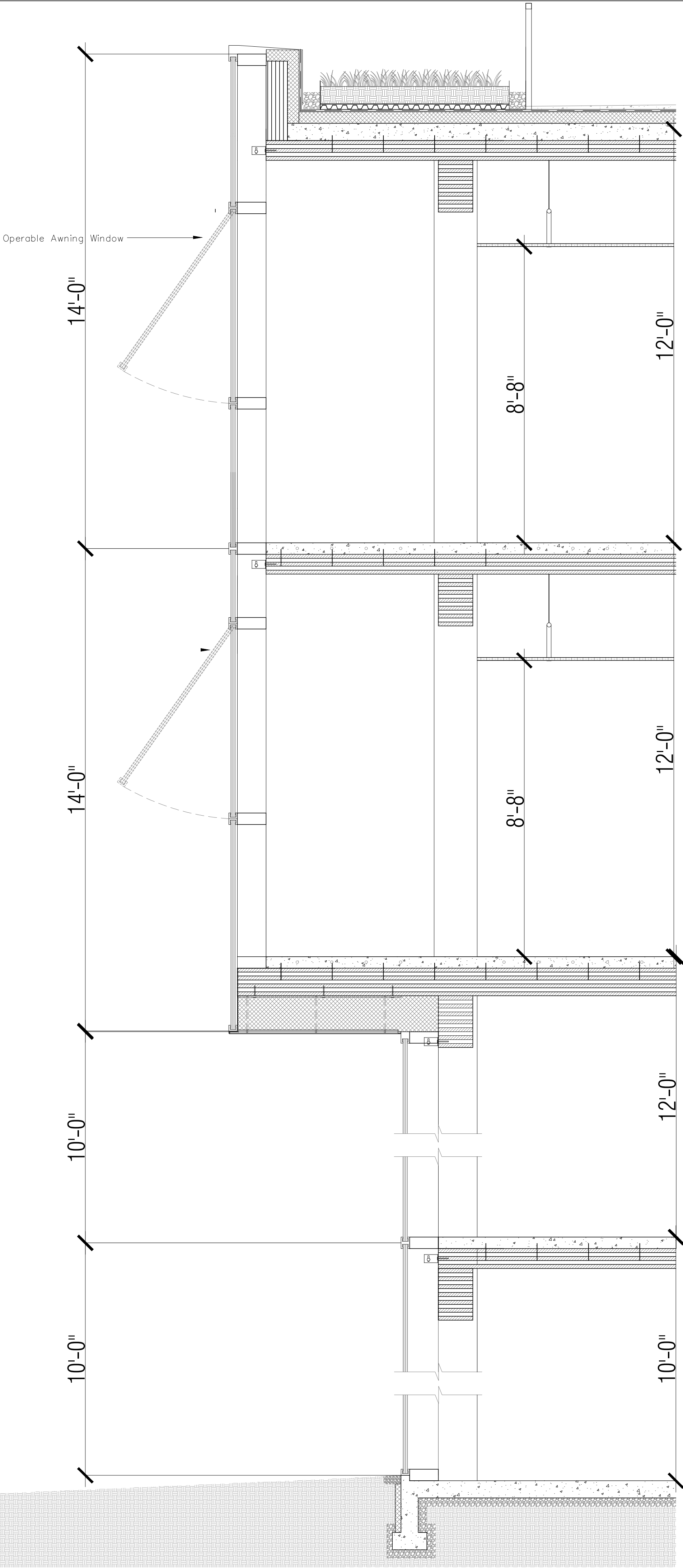
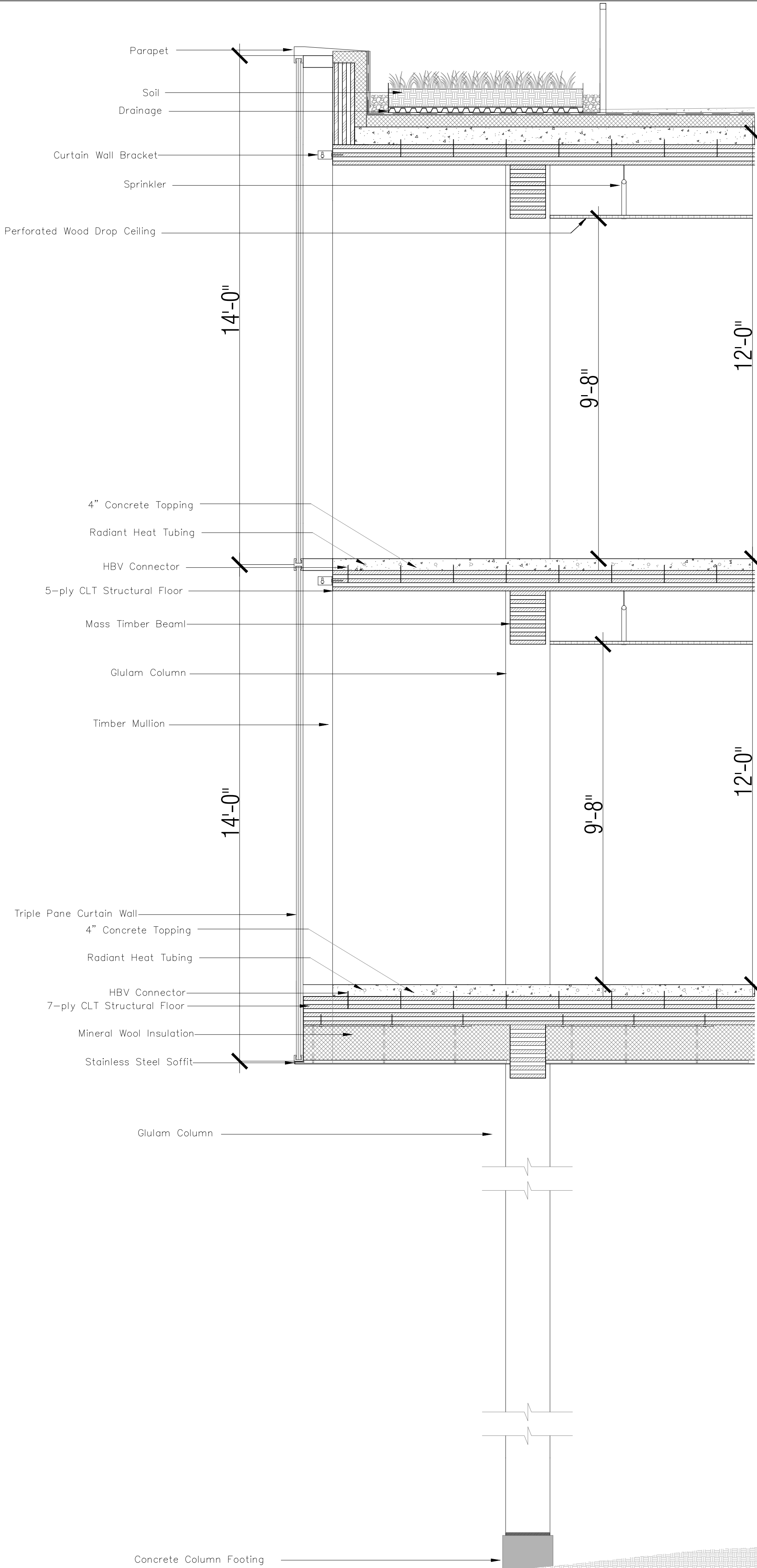
PROJECT:
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DRAWING TITLE:
SECTION: LOOKING EAST

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
	DRAWN: AB
	CHECKED:
	DRAWING:
A-402.00	
SHEET:	XY OF XYZ



3 Building Section: Looking East
A402 SCALE: 1/8" = 1'-0"



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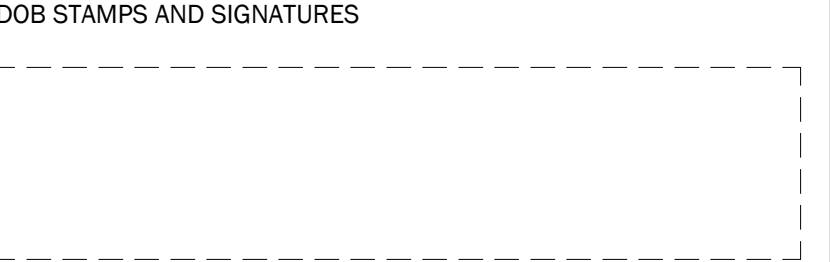
Jessica Doermann
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DOB BSCAN STICKER



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PROJECT:
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DRAWING TITLE:
EXTERIOR WALL SECTIONS

SEAL:	DATE:
	SCALE:
	DRAWN: AB
	CHECKED:
	DRAWING:
A-500.00	
SHEET:	XY OF XYZ

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NEW YORK, NEW YORK 10003



DOB STAMPS AND SIGNATURES



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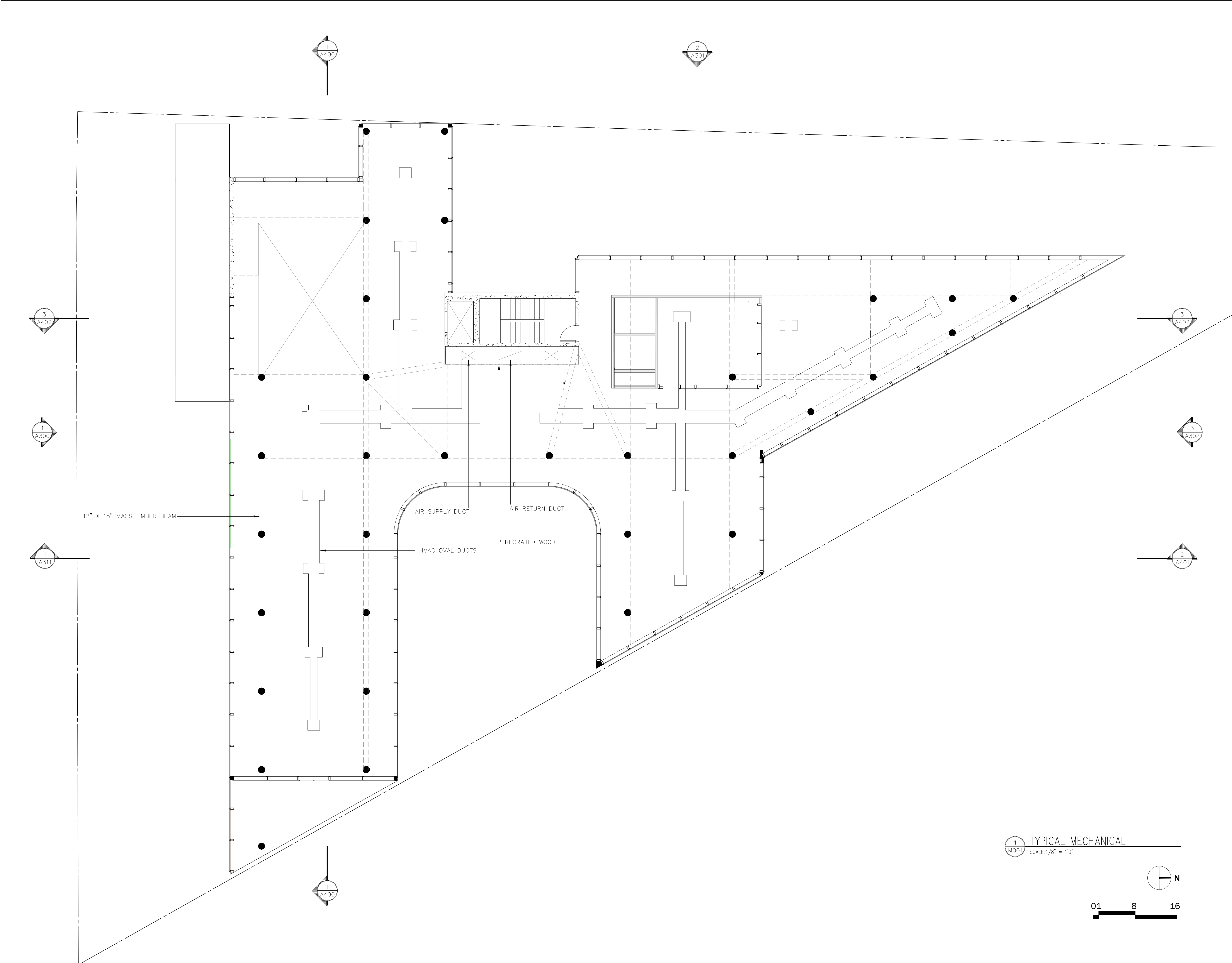
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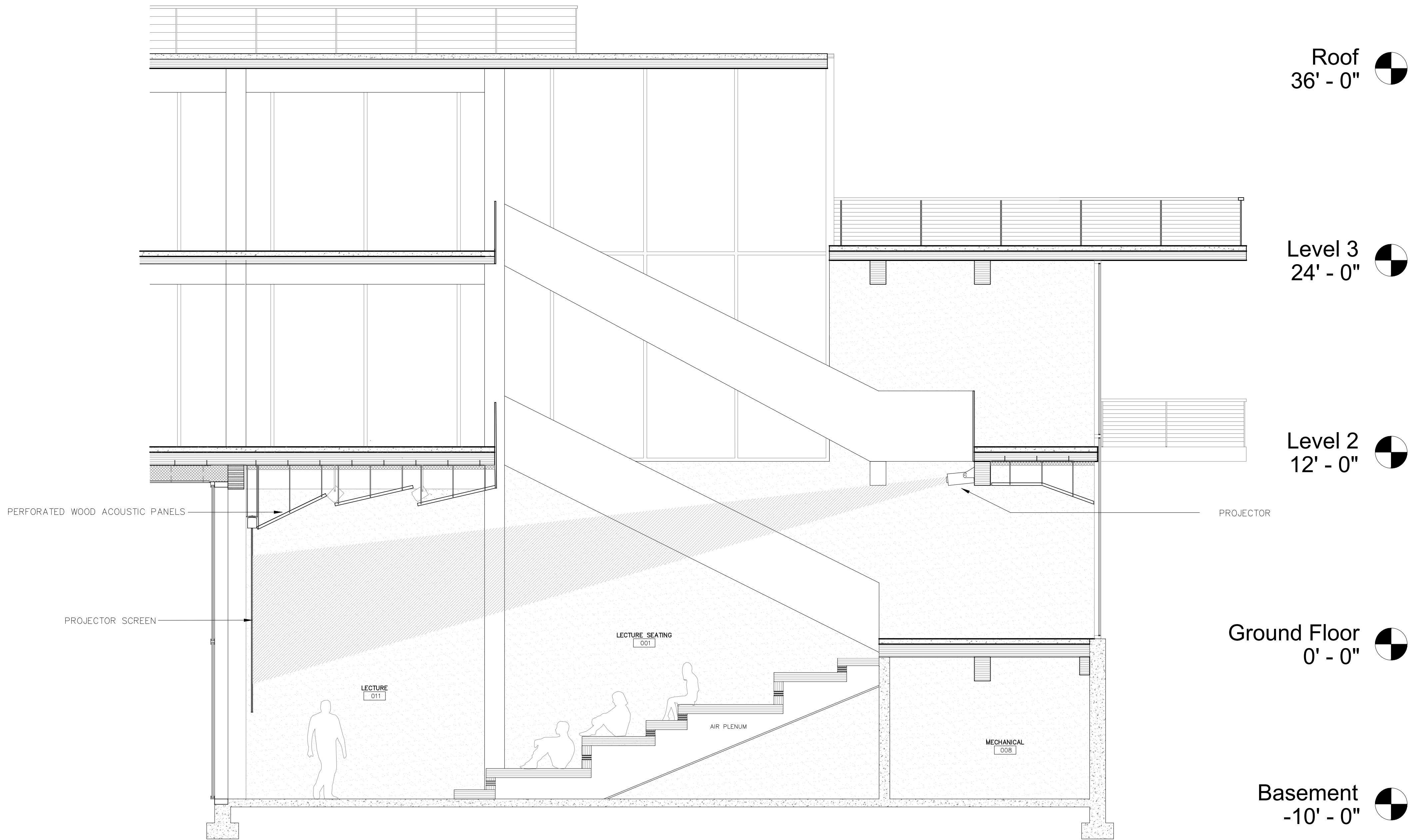
PROJECT:
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DRAWING TITLE:
MECHANICAL (TYPICAL)

SEAL:	DATE:
	SCALE: 1/8" = 1'-0"
	DRAWN: AB
	CHECKED:
	DRAWING:
M001.00	
SHEET:	XY OF XYZ





1
AA-001

AUDIOVISUAL / ACOUSTICS
SCALE: 1/4" = 1'-0"

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DRAWING TITLE:
AUDIOVISUAL / ACOUSTICS

SEAL:

DATE:

SCALE: 1/4" = 1'-0"

DRAWN: AB

CHECKED:

DRAWING:

AA-001

SHEET: XY OF XYZ